

# The Driehaus Form-Based Codes Award

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Based Codes Institute with  
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Richard H. Driehaus  
Charitable Lead Trust*

# 2007 Awards Jury:

*Elizabeth Plater-Zyberk, FAIA, Chair*

*Paul Crawford, FAICP*

*Rick Bernhardt, FAICP*

**2007 Award  
Winners**

# Towns, Villages, Countryside St. Lucie County, Florida Form-Based Code

*St. Lucie County Board of Commissioners*

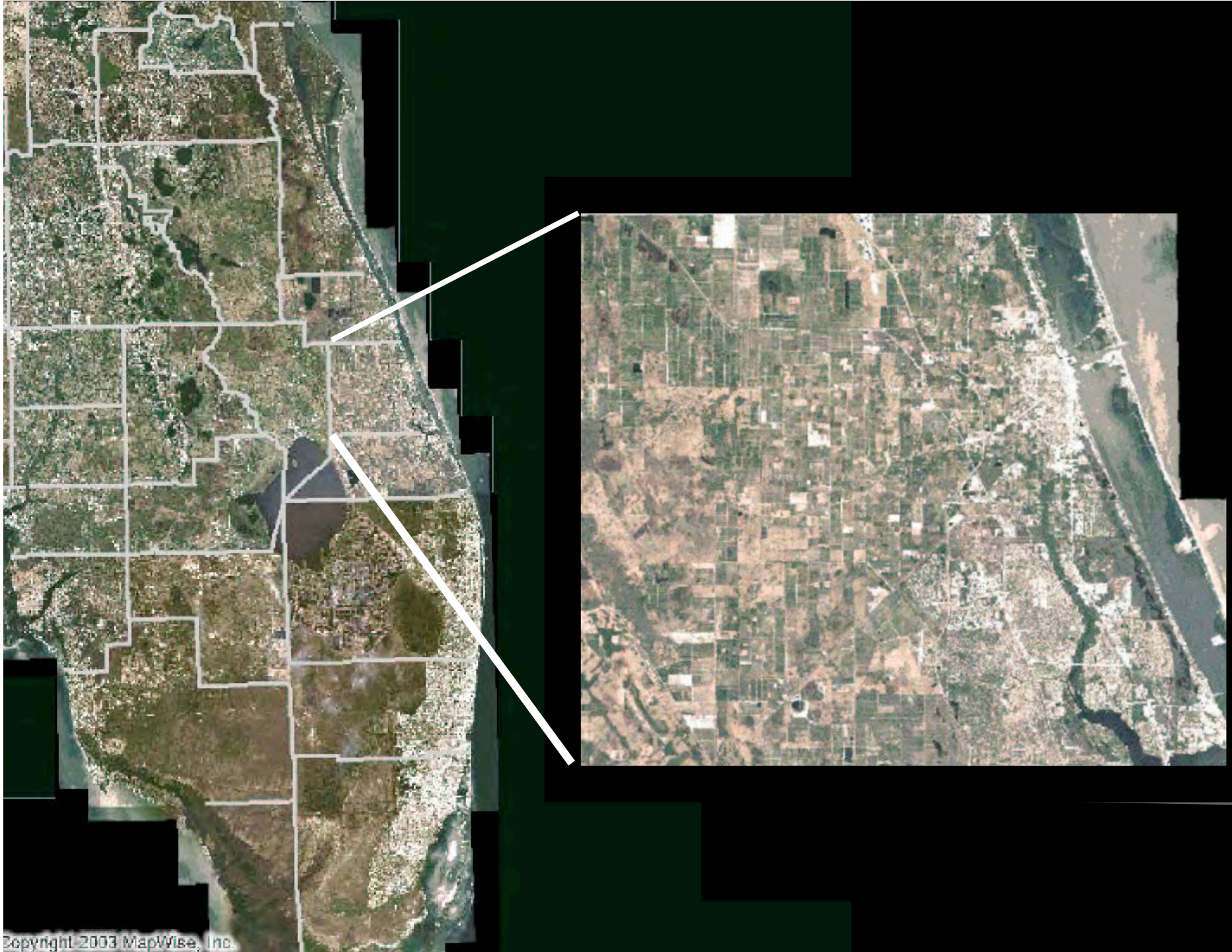
*Treasure Coast Regional Planning Council*

*Dover, Kohl & Partners*

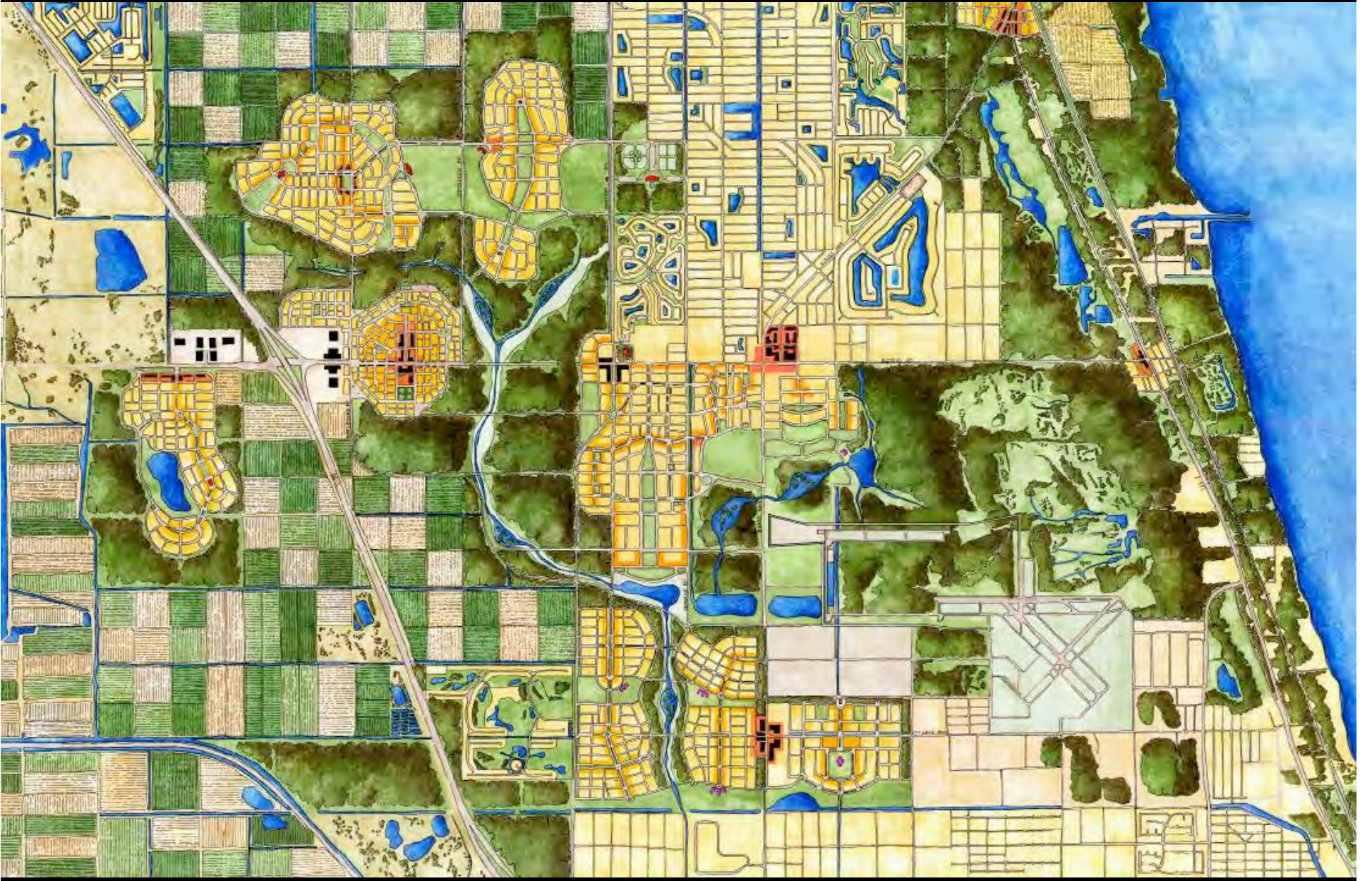
*Nancy E. Stroud, Lewis Stroud & Deutsch, P.L.*

*Spikowski Planning Associates*

**Location/Context**



# The Plan





# Open space and the countryside

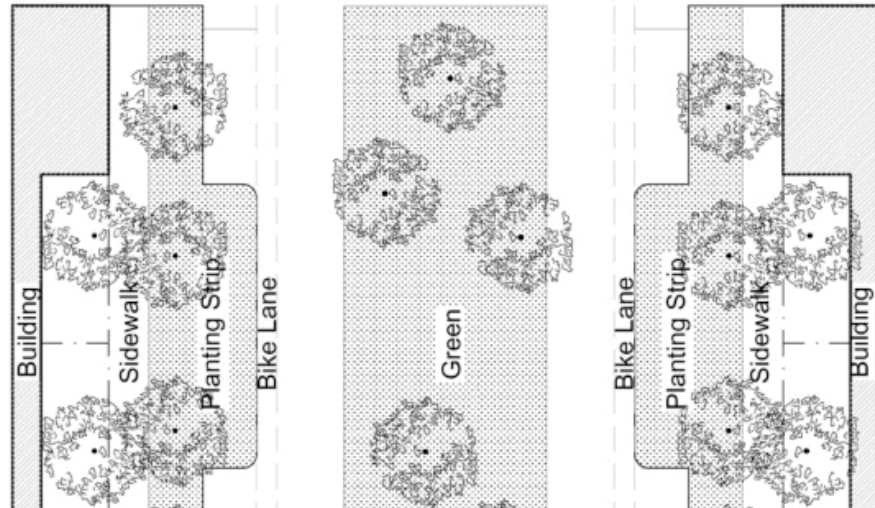
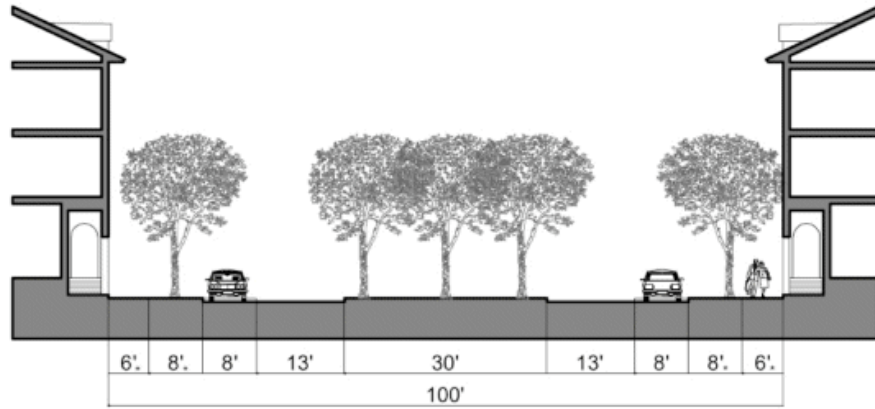




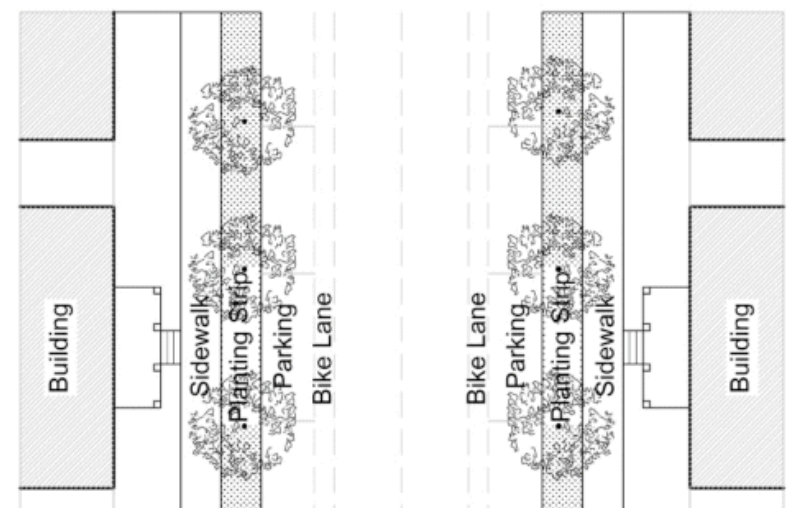
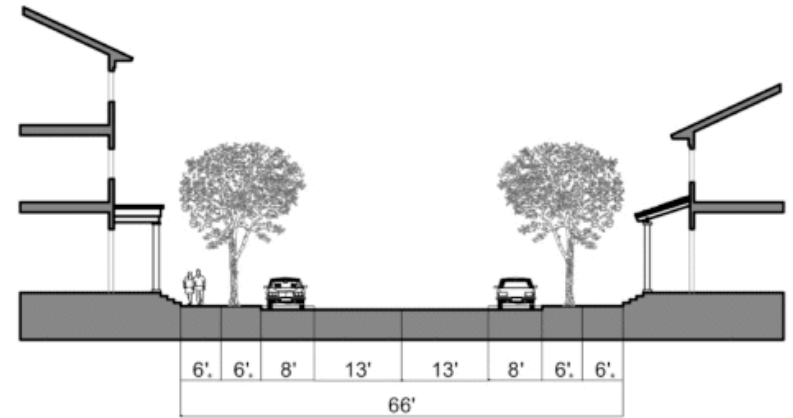
**A regulating plan will show  
assignment of transect zones**

# Eleven street types

(2) Boulevard (BL)



(3) Avenue (AV)



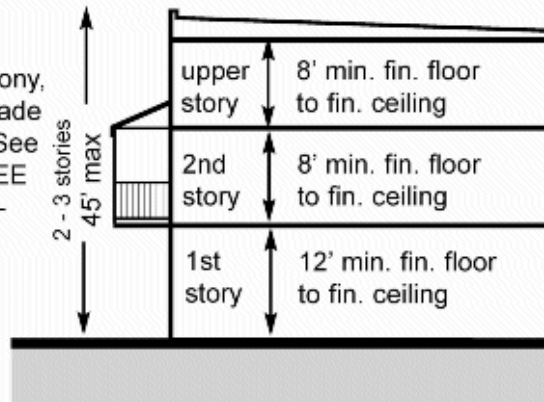
# Eleven building/lot types

## (3) Live/Work Building Lot (LW)

These diagrams illustrate some of the lot size and dimensional requirements from Tables 3-1 and 3-3.

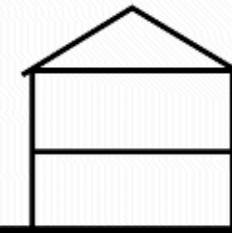
### HEIGHT:

\*An awning, balcony, or colonnade/arcade is encouraged - See Section 3.01.03 EE 2.g(8) for requirements

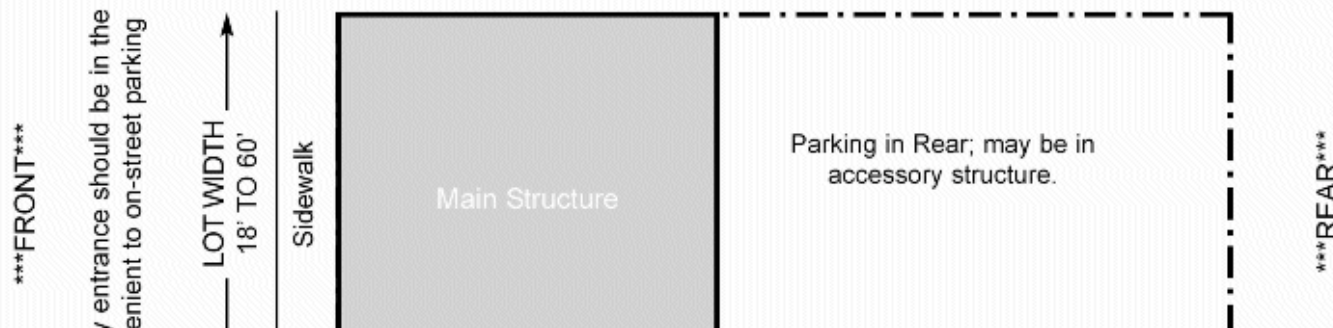


\*Accessory unit is permitted.

\*Detached Garage/ Accessory building may be 2 stories maximum.



### BUILDING PLACEMENT:





**Each regulating plan must show Transect zones,  
street types, lot types**

# The Code

### B. URBAN-TO-RURAL TRANSECT

Towns and Villages have physical forms that vary in character and intensity. An urban-to-rural transect that describes these characteristics in existing communities is also ideal for use as the organizing principle for new communities. New Towns and Villages on land designated TVC are to be planned using the "transect zones" shown on Figure 4-11. These transect zones must be delineated on a regulating plan prepared by a developer and submitted to St. Lucie County for consideration as part of rezoning to the PTV (Planned Town or Village) zoning district. See Section 3.01.03.EE.

FIGURE 4-11 – URBAN-TO-RURAL TRANSECT



### C. URBAN SERVICE BOUNDARY

The St. Lucie County Comprehensive Plan establishes an Urban Service Boundary (USB) which limits the geographic area where the county will provide certain services. The purpose is to restrict the negative impacts of a sprawling low-density development pattern including the fiscal burden placed on service providers by that pattern. About 63% of the land designated TVC is outside this boundary and the remainder is inside. The TVC Element provides incentives for moving potential development to new Towns and Villages or to certain locations inside the USB. Under certain circumstances the TVC Element allows new development to qualify for urban services even if located outside the USB (see policies under Objective 3.1.2 of the St. Lucie County Comprehensive Plan).

### D. TRANSFERABLE DEVELOPMENT RIGHTS

The development rights attached to a parcel of land can sometimes be transferred to other parcels. The TVC Element encourages the transfer of density for several purposes: to move potential development to certain locations inside the USB; to encourage continued use of land for rural and open space purposes by transferring potential density off the land; and to allow the accumulation of sufficient development rights to create Towns or Villages. Transferable development values are set in Figure 3-3 of the TVC Element and may be increased by using the multipliers in the TDR Credit Matrix in Table 3-4 of the TVC Element. See Section 4.04.05.

## B. URBAN-TO-RURAL TRANSITION

Towns and Villages have physical characteristics that describe these communities. The TVC Element provides a principle for new communities, using the "transect zones" shown in the regulating plan prepared by a design professional rezoning to the PTV (Planned Town and Village).



## C. URBAN SERVICE BOUNDARY

The St. Lucie County Comprehensive Zoning Ordinance defines the geographic area where the negative impacts of a sprawling development pattern are contained, and the remainder is inside. The TVC Element allows new developments to be located within the Urban Service Boundary under Objective 3.1.2.c.

## D. TRANSFERABLE DEVELOPMENT RIGHTS

The development rights attached to a parcel of land are transferred to a certain location for open space purposes by transferring sufficient development rights to a certain location. Figure 3-3 of the TVC Element shows the transfer of development rights in Table 3-4 of the TVC Element.

St. Lucie County Land Development Code

3.01.03.EE.2.d

### (3) "GENERAL" TRANSECT ZONE

**PURPOSE:** The General zone is the largest area of most neighborhoods. It is residential in character with a mix of housing types including single family attached and detached homes and multi-family units. Homes located in the General zone are normally set back from the front property line to allow a front yard with a porch or stoop; lots often have private rear yards.

**PERMITTED LOT TYPES** in the General transect zone (refer to Section 3.01.03.EE.2.e):

- Apartment Building Lot
- Live/Work Building Lot
- Apartment House Lot
- Rowhouse Lot
- Cottage House Lot
- Sideyard House Lot
- House Lot
- Civic Building Lot

**BUILDING FORM AND PLACEMENT ON LOTS** for the General transect zone: refer to Section 3.01.03.EE.2.f.

**DEVELOPMENT STANDARDS** for the General transect zone: refer to Section 3.01.03.EE.2.g.

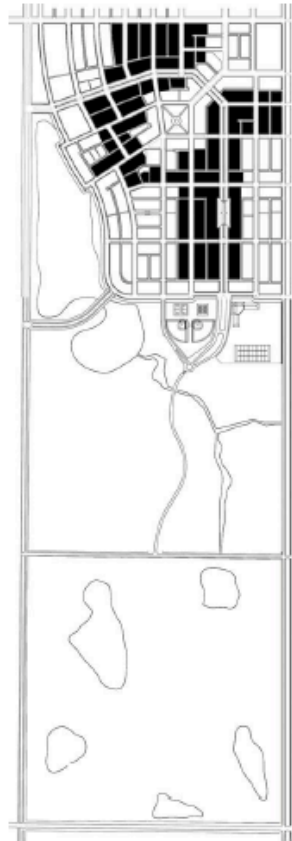
**PERMITTED USES** for the General transect zone: permitted uses are determined by lot type -- refer to Section 3.01.03.EE.2.h.

**ALLOWABLE STREET TYPES** in the General transect zone (refer to Section 3.01.03.EE.2.i):

- Boulevard
- Avenue
- East/West Street
- North/South Street
- Lane
- Trail

**STREETSCAPE STANDARDS** for the General transect zone: refer to Section 3.01.03.EE.2.j.

GENERAL TRANSECT ZONE  
HIGHLIGHTED ON  
MODEL REGULATING PLAN:





**B. URBAN-TO-RURAL TRANSITION**

Towns and Villages have physical characteristics that describe these characteristics. The principle for new communities, using the "transect zones" shown in the regulating plan prepared by a development plan commission, is to rezone to the PTV (Planned Town and Village).



**C. URBAN SERVICE BOUNDARY**

The St. Lucie County Comprehensive Zoning Ordinance defines the geographic area where the negative impacts of a sprawling development pattern are to be contained. The TVC Element allows new development policies under Objective 3.1.2.c.

**D. TRANSFERABLE DEVELOPMENT RIGHTS**

The development rights attached to a parcel of land. The TVC Element encourages development to certain locations for open space purposes by transferring development rights to a specific location in Table 3-4 of the TVC Element.

**(3) "GENERAL" TRANSITION**

**PURPOSE:** The General zone is the most common neighborhood. It is a mix of housing types including detached homes and multi-family units located in the General zone at the front property line to allow for stoop; lots often have private driveways.

**PERMITTED LOT TYPES** in the General zone (refer to Section 3.01.03.EE.2):

- Apartment Building Lot
- Live/Work Building Lot
- Apartment House Lot
- Rowhouse Lot
- Cottage House Lot
- Sideyard House Lot
- House Lot
- Civic Building Lot

**BUILDING FORM AND PLACEMENT:** General transect zone: refer to Section 3.01.03.EE.2.h.

**DEVELOPMENT STANDARDS:** zone: refer to Section 3.01.03.EE.2.h.

**PERMITTED USES** for the General zone are determined by Section 3.01.03.EE.2.h.

**ALLOWABLE STREET TYPES:** zone (refer to Section 3.01.03.EE.2.h):

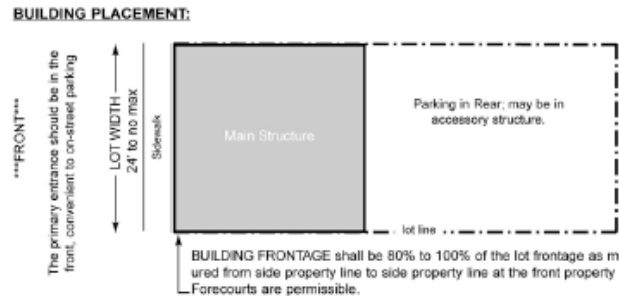
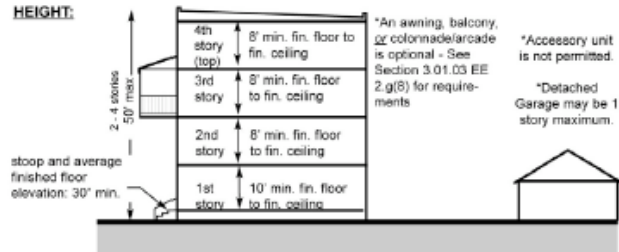
- Boulevard
- Avenue
- East/West Street
- North/South Street
- Lane
- Trail

**STREETSCAPE STANDARDS:** zone: refer to Section 3.01.03.EE.2.h.

3.01.03.EE.2.f

**(3) Apartment Building Lot (AB)**

These diagrams illustrate some of the lot size and dimensional requirements from Tables 3-1 and 3-3.



**PRECEDENTS & CHARACTER EXAMPLES:**



**B. URBAN-TO-RURAL TRANSITION**

Towns and Villages have physical characteristics that describe these characteristics. The principle for new communities, using the "transsect zones" shown in the regulating plan prepared by a development professional, rezoning to the PTV (Planned Town and Village).



**C. URBAN SERVICE BOUNDARY**

The St. Lucie County Comprehensive Plan defines the geographic area where the negative impacts of a sprawling development pattern are contained. The TVC Element allows new development policies under Objective 3.1.2.c.

**D. TRANSFERABLE DEVELOPMENT RIGHTS**

The development rights attached to a lot are transferred to a certain location. The TVC Element encourages development to certain locations for open space purposes by transferring development rights to a certain location. Figure 3-3 of the TVC Element in Table 3-4 of the TVC Element.

St. Lucie County Land Development Code

**(3) "GENERAL" TRANSITION ZONE**

**PURPOSE:** The General zone is the most common neighborhood. It is a mix of housing types including detached homes and multi-unit dwellings located in the General zone at the front property line to allow for stoop; lots often have private front yards.

**PERMITTED LOT TYPES** in the General zone (refer to Section 3.01.03.EE.2):

- Apartment Building Lot
- Live/Work Building Lot
- Apartment House Lot
- Rowhouse Lot
- Cottage House Lot
- Sidyard House Lot
- House Lot
- Civic Building Lot

**BUILDING FORM AND PLACEMENT:** General transect zone: refer to Section 3.01.03.EE.2.h.

**DEVELOPMENT STANDARDS:** refer to Section 3.01.03.EE.2.g.

**PERMITTED USES** for the General zone are determined in Section 3.01.03.EE.2.h.

**ALLOWABLE STREET TYPES** in the General zone (refer to Section 3.01.03.EE.2.g):

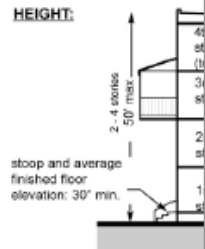
- Boulevard
- Avenue
- East/West Street
- North/South Street
- Lane
- Trail

**STREETSCAPE STANDARDS:** refer to Section 3.01.03.EE.2.g.

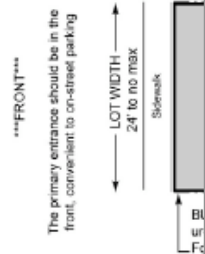
St. Lucie County Land Development Code

**(3) Apartment House**

These diagrams illustrate a typical apartment house building form and placement.



**BUILDING PLACEMENT:**



**PRECEDENTS & CHARACTERISTICS:**



St. Lucie County Land Development Code

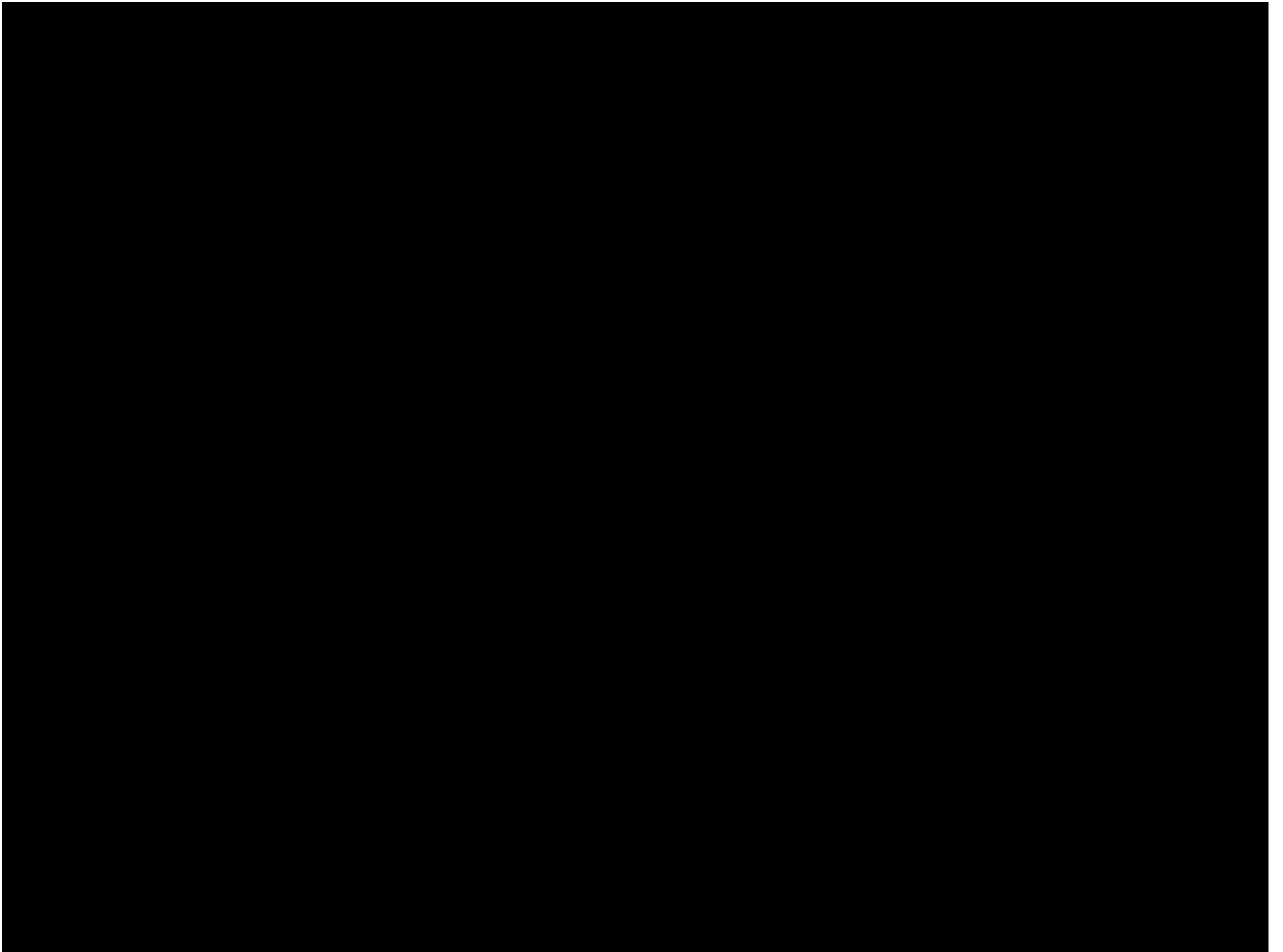
3.01.03.EE.3

FIGURE 3-16a



Lot Types	Key	Street Types	Key	Transsect Zones	Key
Mixed-Use Building Lot	MU	Main Street	MS	Core	CO
Office Building Lot	OB	Decorated	DL	Center	CE
Apartment Building Lot	AB	Avenue	AV	General	G
Live/Work Building Lot	LW	East/West Street	E/W	Edge	E
Apartment House Lot	AH	North/South Street	NS	Fringe	F
Cottage House Lot	CH	Edge Drive	ED	Rural	R
Cottage House Lot	CH	Parade	PK	Specialized District	SD
Sidyard House Lot	SH	Rural Road	RR		
House Lot	HO	Alley	AL		
Exhibit Lot	EX	Lane	LN		
Live Building Lot	LB	Trail	TR		
Highway Service Lot	HS				
Warehouse Retail Lot	WR				
Countryside Tract	CT				

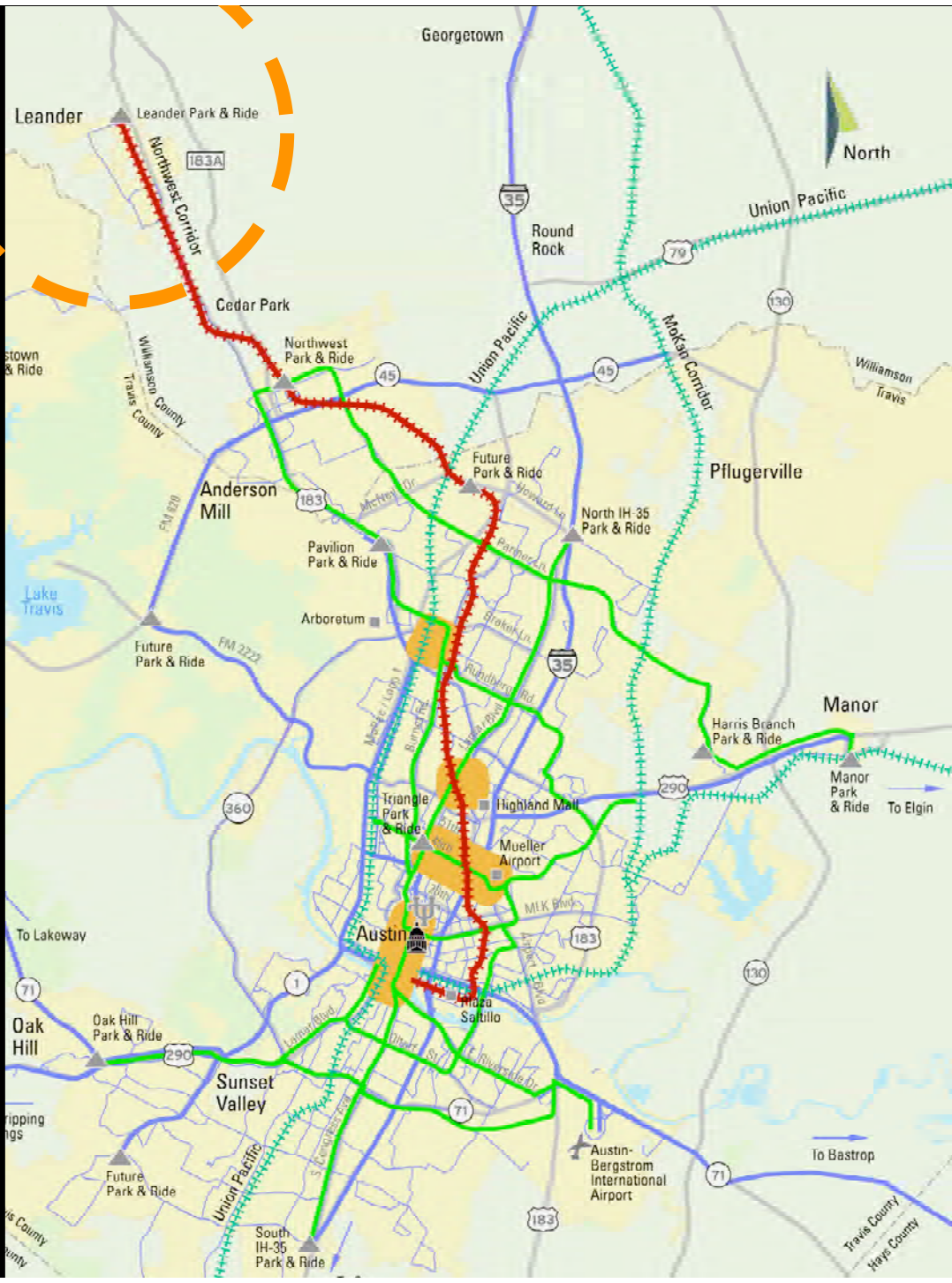
St. Lucie County Land Development Code



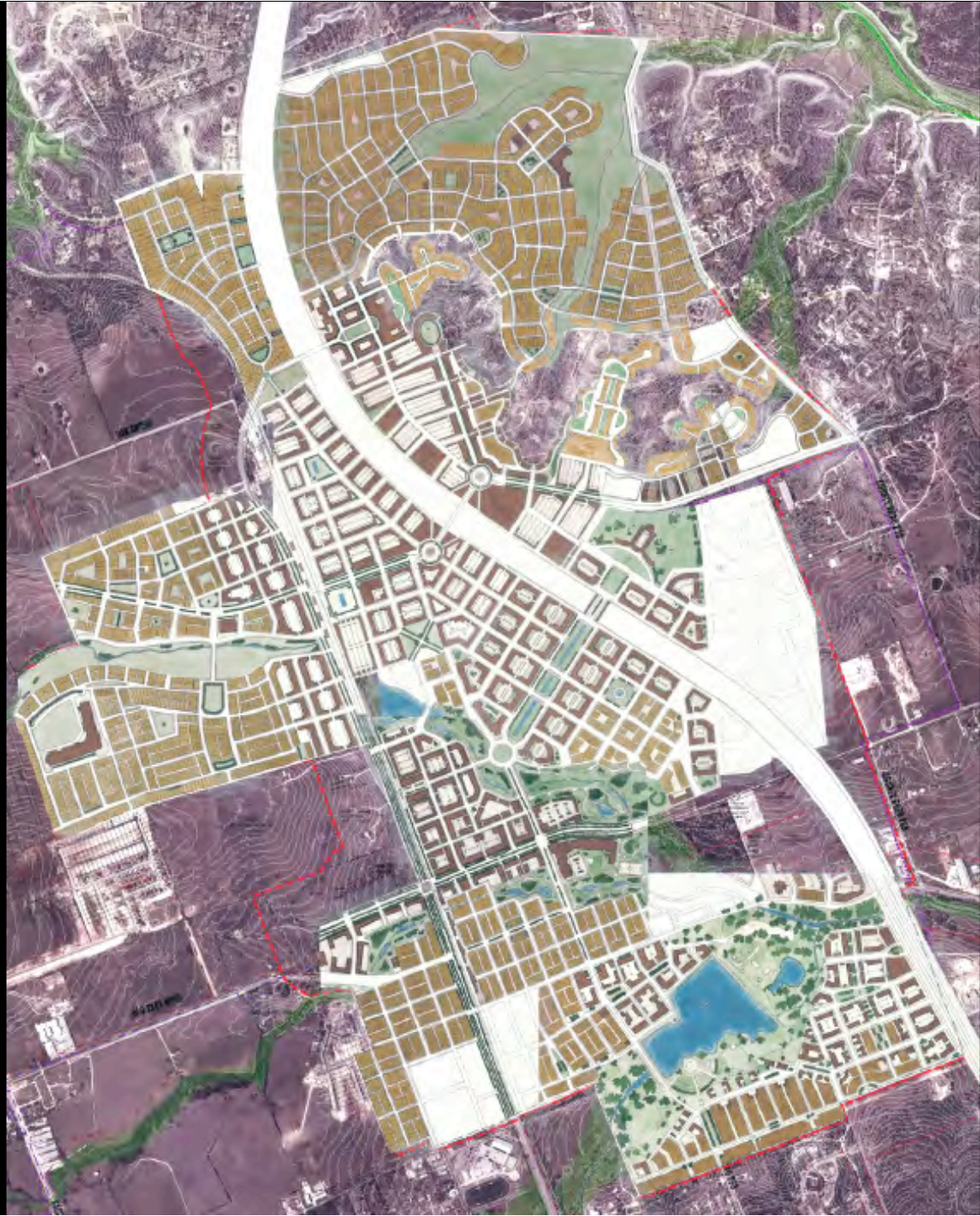
# City of Leander, Texas, Form-Based Code

*City of Leander, Texas*  
*Gateway Planning Group, Inc.*  
*Capital Metro*  
*PlaceMakers, LLC*  
*TXP, Inc.*  
*Pate Engineering*  
*Capitol Market Research*  
*John Langmore Consulting*

**Location**



# The Plan









# The Code

★LEANDER★  
★TEXAS★  
—  
SMARTCODE

SMARTCODE AUTHORED BY:  
TRANSECT CODEWARE COMPANY  
★MIAMI★

SMARTCODE CUSTOMIZED FOR LEANDER BY:  
GATEWAY PLANNING GROUP  
★AUSTIN★DALLAS-Ft. WORTH★

PLACEMAKERS  
★MIAMI★ALBUQUERQUE★ATLANTA★

TABLE 9 • BUILDING HEIGHTS

Transect Zone	TRANSECT			
	T2 T3	T4	T5	T6
<p>The vertical extent of a building shall be measured by number of stories, not including a raised basement or an inhabited attic. Building height shall be measured from the average grade of the frontage line to the eave of a pitched roof or the surface of a flat roof. Height limits shall not apply to towers with a lot coverage of less than 400 square feet. The minimum story requirement for T5 and T6 shall not apply to an Ancillary Unit.</p>				
	<p><b>Minimum</b></p> <p>2 Stories</p>	<p>N/A</p>	<p>N/A</p>	<p>2 Stories</p>
<p><b>Maximum</b></p>	<p>2 Stories</p>	<p>3 Stories</p>	<p>4 Stories</p>	<p>12* Stories</p>
<p><b>Note:</b> Exceptions</p> <p>1) Within a 300' strip adjacent to the 183A ROW, on either side, the minimum height requirement shall be 2 stories.</p> <p>2) Within a 300' strip adjacent to CR 274/San Gabriel Parkway and the new FM 2243, on either side, the minimum height requirement shall be 2 stories for 5 years from the date of final original adoption of this Code. A building must receive a Certificate of Occupancy (CO) within the 5 year period to qualify for this exception.</p> <p>Further, the requirement for stories (see Definitions) shall also be waived for each of these exceptions. For exception 2), upon the anniversary of the original adoption of the Code, the requirement for stories shall revert to base language in the Code and Tables as amended from time to time.</p> <p>*For T6, any building exceeding 6 stories shall provide vertical structured parking.</p>				

★L

S

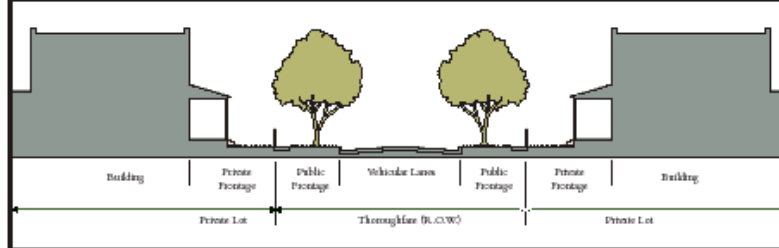
TRANSE

SMART  
GATE

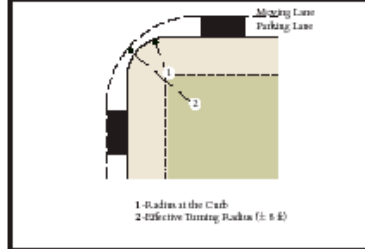
TABLE 1	
RURAL •••••	
Transect Zone	T2 T3
The vertical extent of a building shall be measured by number of stories, not including a raised basement or an inhabited attic. Building height shall be measured from the average grade of the frontage line to the eave of a pitched roof or the surface of a flat roof. Height limits shall not apply to towers with a lot coverage of less than 400 square feet. The minimum story requirement for T5 and T6 shall not apply to an Ancillary Unit.	
<b>Minimum</b>	N/A
<b>Maximum</b>	2 Stories
<b>Note:</b> Exceptions	
1) Within a 300' strip	
2) Within a 300' strip height requirement receive a Certificate	
Further, the requirements upon the anniversary of the Code and Tables are	
*For T6, any building	

TABLE 1 • EXPLANATORY DIAGRAMS

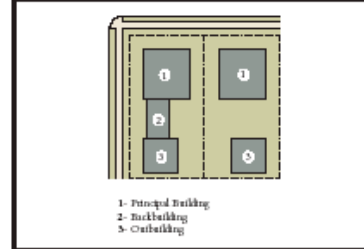
a. Thoroughfares & Frontages



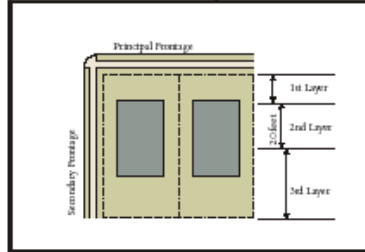
b. Turning Radius



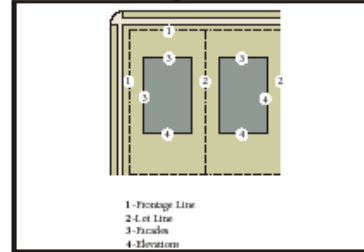
c. Building Disposition



d. Lot Layers



e. Frontage & Lot Lines



★ L  
S

TRANSE  
SMART  
GATE

LEADER 6 STANDARDS & TABLES SMARTCODE	
TABLE 1B - ARCHITECTURAL STANDARDS	
RURAL . . . . .	
Transect Zone	T2 T3
The vertical extent of a building shall be measured by number of stories, not including a raised basement or an inhabited attic. Building height shall be measured from the average grade of the frontage line to the eave of a pitched roof or the surface of a flat roof. Height limits shall not apply to towers with a lot coverage of less than 400 square feet. The minimum story requirement for T5 and T6 shall not apply to an Ancillary Unit.	
<b>Minimum</b>	N/A
<b>Maximum</b>	2 Stories
	<b>Note:</b> Exceptions 1) Within a 300' strip 2) Within a 300' strip height requirement receive a Certificate Further, the requirements upon the anniversary of the Code and Tables as *For T6, any building

LEADER 6 STANDARDS & TABLES SMARTCODE

**TABLE 1B - ARCHITECTURAL STANDARDS**

**a. Building Footprint**

**b. Turning Radius**

**d. Lot Layer**

LEADER 6 STANDARDS & TABLES SMARTCODE

**TABLE 2 1B - ARCHITECTURAL STANDARDS**

**WALLS & MASSING**

**a. Simplicity of Massing**

**DON'T**

"McMansion" massing tries to do too much, and will forever be dated.

Simple massing is timeless.

**DO**

The root of the Texas Hill Country architectural massing is simplicity. The buildings that are the foundation of most styles are a simple volume, or an assembly of simple volumes.

**b. Number of Wall Materials**

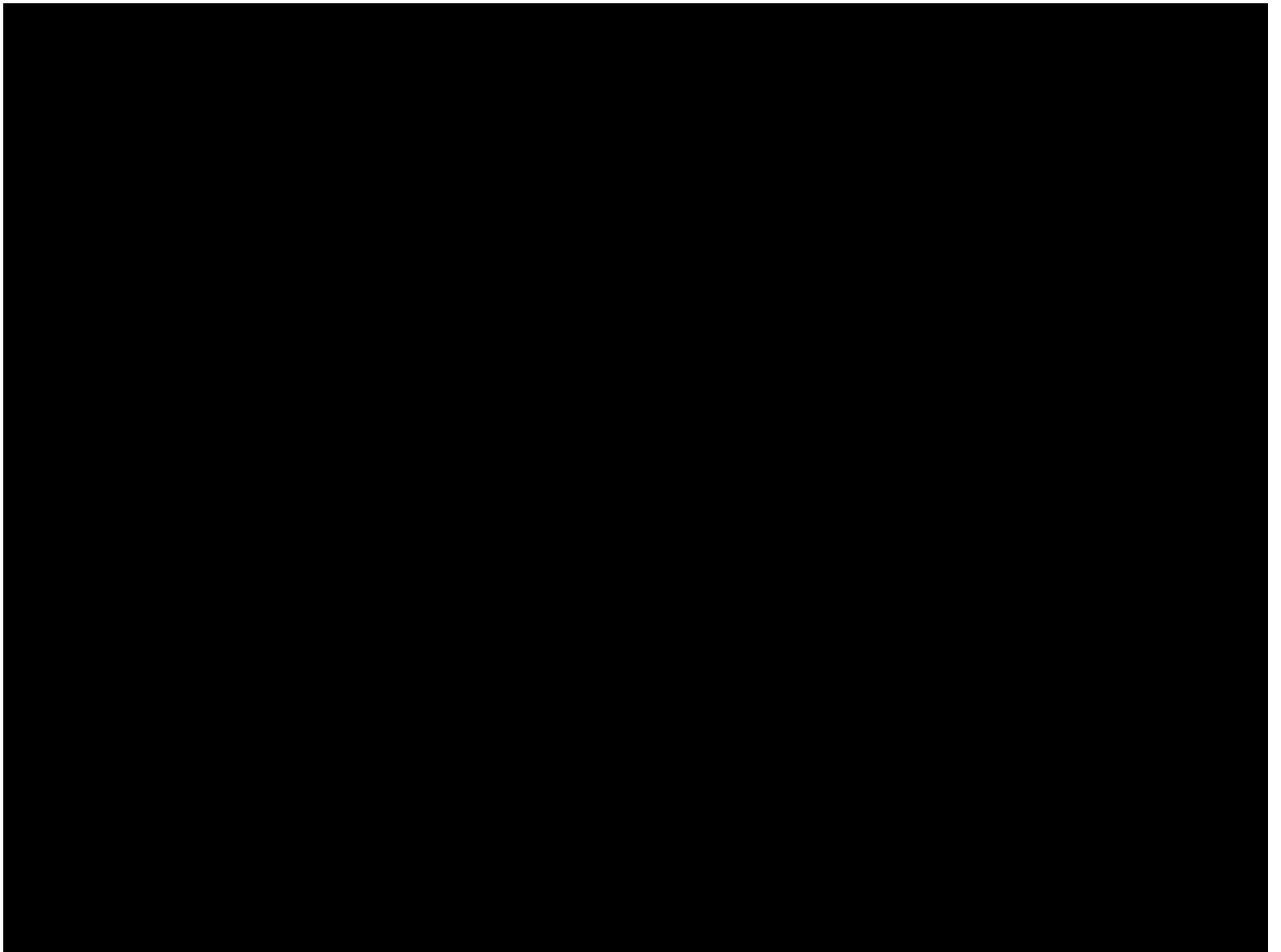
**DON'T**

There is no apparent reason for the use of both wall materials.

Fewer materials are more elegant.

**DO**

No more than two wall materials shall be visible on any exterior wall, not including the foundation wall or piers. Construction was once more difficult and expensive than it is now, so builders tried to use simple construction systems. They may have enriched the buildings with ornament, but the basic construction system was usually simple. Because of this, most walls were built of one material or maybe two, not counting the foundation & trim work. Today, however, the public realm is often so poor that people feel compelled to clutter the walls of buildings with as many materials and shapes as possible in hopes of creating "street appeal" since the street itself has little appeal. Unfortunately, the result is often cluttered and unappealing.





# City of Gulfport, Mississippi

## SmartCode

*City of Gulfport*

*HDR, Town Planning*

*Jeffrey Bounds, Urban Planning*

*Consultant*

*Fisher & Hall, Urban Design*

*Sandy Sorlien, SmartCode Consultant*

*Balch and Bingham, LLP*

*Hall Planning and Engineering, Inc.*

*Guild Hardy Architects*

*PlaceMakers, LLC*

*Josie Holden Bulla*

*Architect and Urban Planner*

*Joanna Alimanestianu*

*Architect and Urban Planner*

*B&D Studio, LLC*

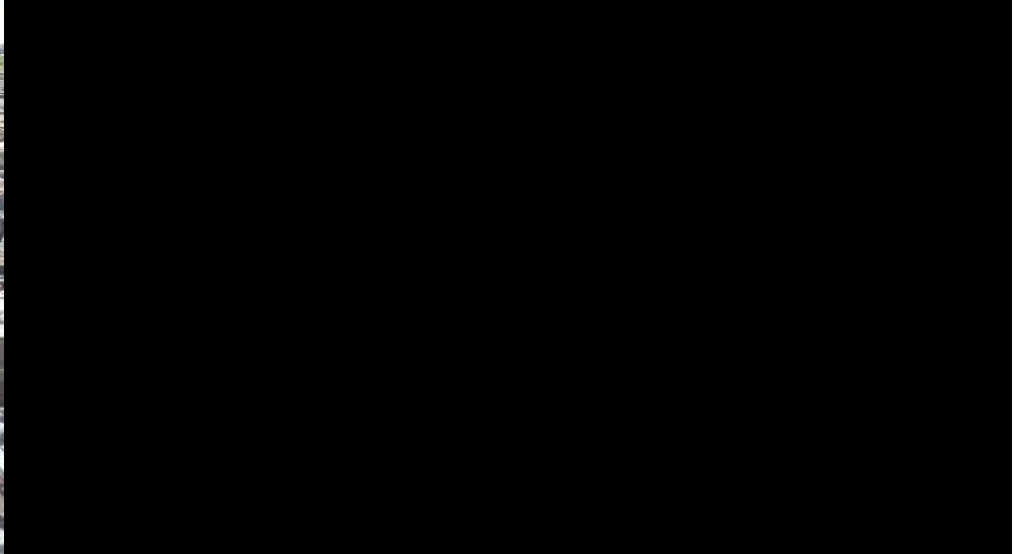
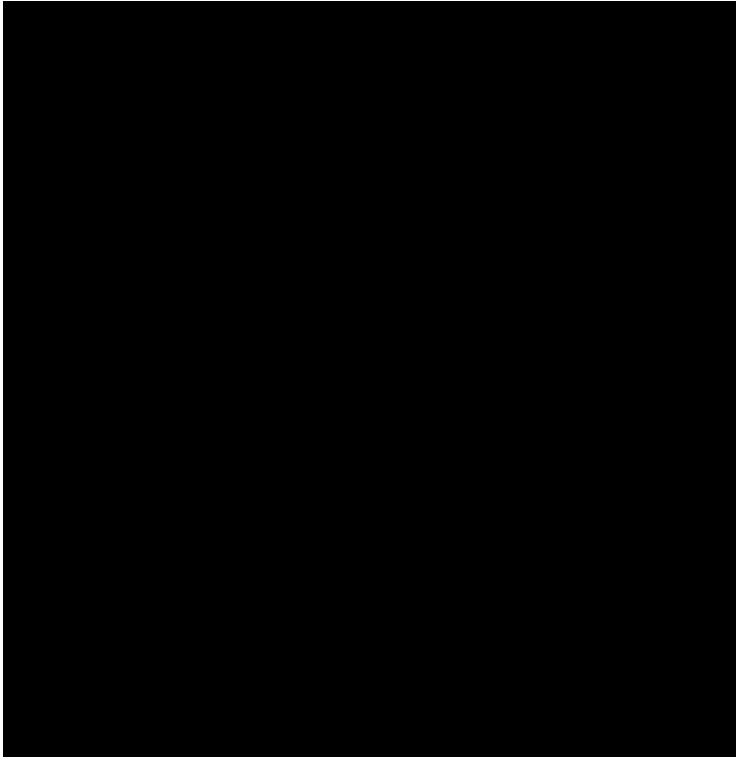
*Michael G. Imber Architects*

*P. Knight Martorell, Architect*

*Anne Daigle, Urban Planner*

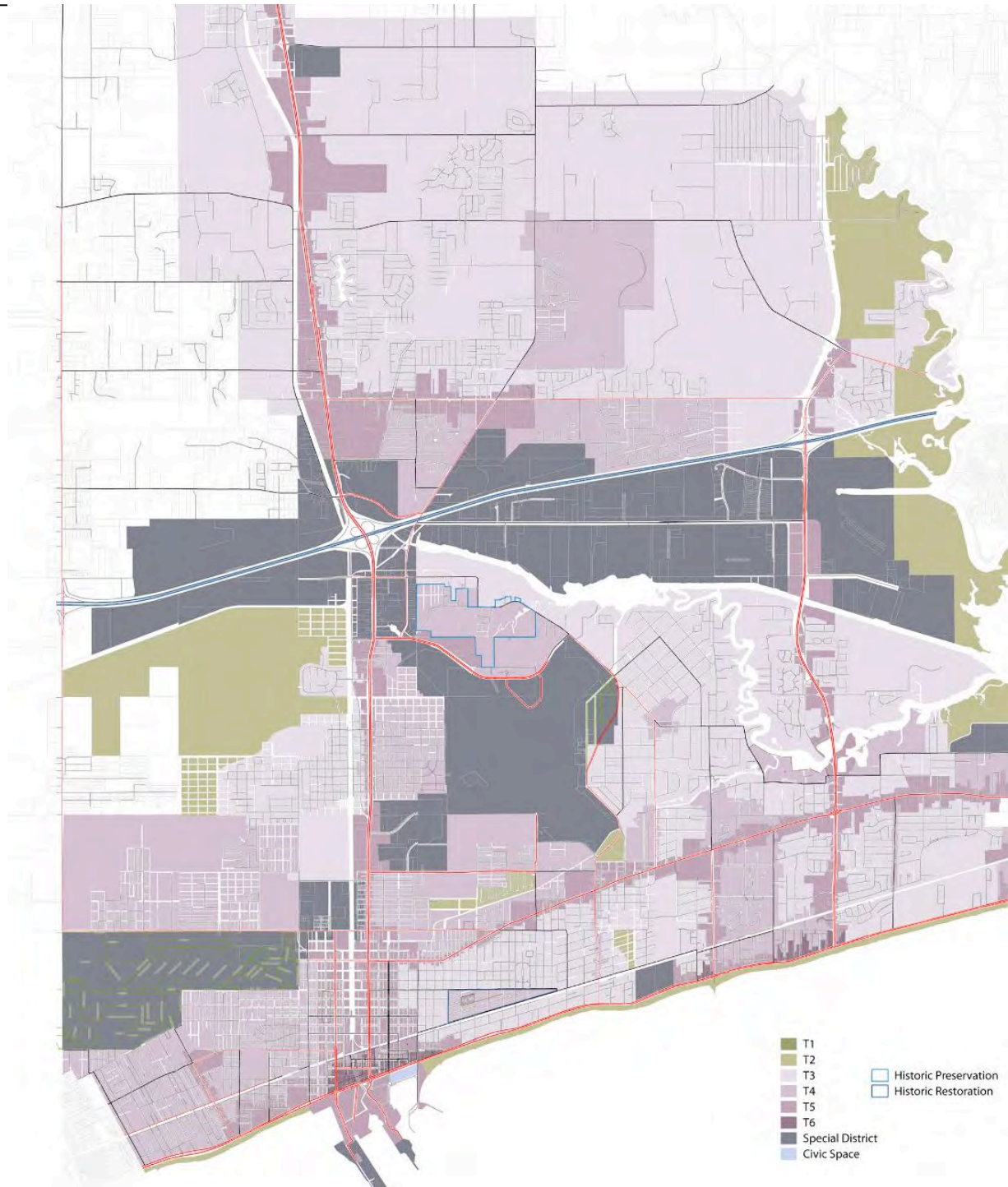
*Debra Hempel Company*

# Existing Conditions

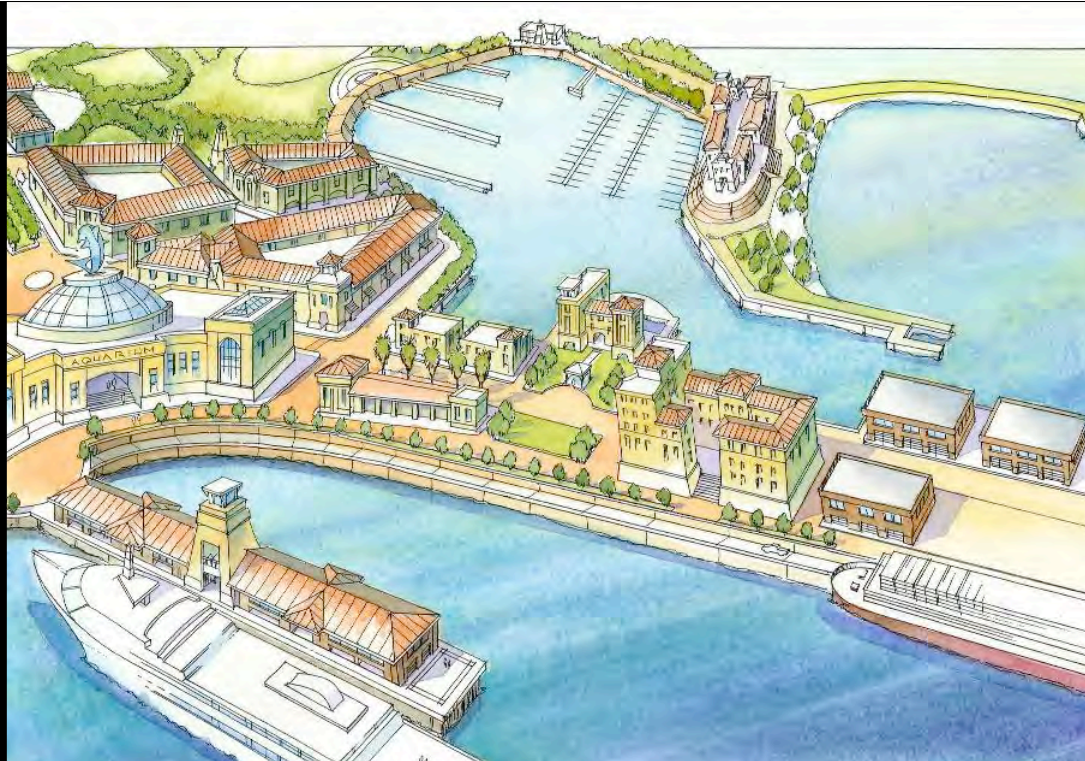




# The Plan



- T1
- T2
- T3
- T4
- T5
- T6
- Special District
- Civic Space
- Historic Preservation
- Historic Restoration





GOOD DEEDS COMMUNITY CENTER



SORJA CITY MARKET

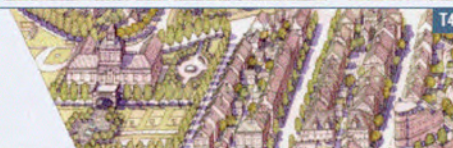
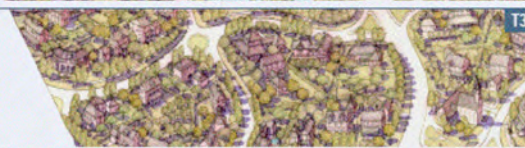
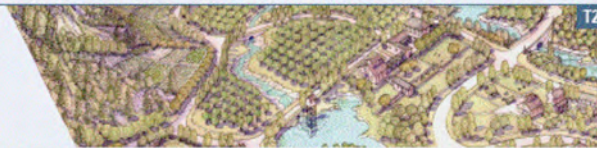
MFB



# The Code

# SMART CODE

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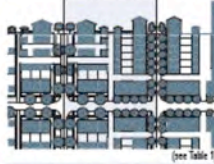
*City of Gulfport, Mississippi*  
Version 1.0 13 February 2007

**SMARTCODE**

City of Gulfport, Mississippi

SECTION 5.6.11

**T6**



BUILDING FUNCTION (see Tables 10 & 11)	
a. Residential	Open use
b. Lodging	Open use
c. Office	Open use
d. Retail	Open use

BUILDING HEIGHT (see Table 8)	
a. Principal Building	8 max.; 2 min.
b. Outbuilding	prohibited

LOT OCCUPATION	
a. Lot Width	18 ft. min.; 700 ft. max.
b. Lot Coverage	90% max.

BUILDING TYPE (see Table 9)	
a. Edgelyard	prohibited
b. Sideyard	prohibited
c. Rearyard	permitted
d. Courtyard	permitted

BUILDING SETBACK	
a. Front Setback	No min.; 12 ft. max.
b. Side Setback	No min.; 24 ft. max.
on 2nd. Frontage	No min.; 12 ft. max.
c. Rear Setback	No min.*
for corner lot	No min.*
d. Frontage Buildout	80% min. at setback

OUTBUILDING SETBACK	
a. Front Setback	prohibited
b. Side Setback	prohibited
on 2nd. Frontage	prohibited
c. Rear Setback	prohibited
for corner lot	prohibited

PRIVATE FRONTAGES (see Table 7)	
a. Common Lawn	prohibited
b. Porch & Fence	prohibited
c. Terrace or L.C.	prohibited
d. Forecourt	permitted
e. Sloop	permitted
f. Shopfront & Awning	permitted
g. Gallery	permitted
h. Arcade	permitted

Refer to Summary Table 14

PARKING PROVISIONS	
See Tables 11 & 12	

\* Or 12 ft. from center line of alley

**ARTICLE 5. BUILDING-SCALE PLANS**

**BUILDING HEIGHT**

1. Building height shall be measured in number of Stories, not including a raised Basement or habitable Attic.
2. Each Story other than the first shall not exceed 14 ft. clear, floor to ceiling; the first Story shall not exceed 20 ft. clear.
3. Maximum height shall be measured to the eaves or roof deck from the first floor above the Height Baseline.
4. A vertical space of more than 4 feet between the Height Baseline and the first floor above the Height Baseline shall be counted as a complete Story.

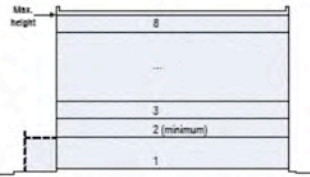


DIAGRAM ABOVE MAY NOT SHOW ACTUAL HEIGHT LIMITS. SEE TABLE AT LEFT.

**BUILDING DISPOSITION**

1. The Facades and Elevations of a building shall be distanced from the Frontage and lot lines as shown.
2. Buildings shall have Facades along both Primary and Secondary Frontage Lines and Elevations along Lot Lines.
3. Facades shall be built along the Principal Frontage Line to not less than 80% of the length of that Frontage, measured at the actual front setback of the building.



**PARKING PROVISIONS**

1. Uncovered parking spaces may be provided within the Third Layer (see Table 16D).
2. Covered parking, if provided, shall be located within the Third Layer.
3. Trash containers shall be stored within the Third Layer, outside the Secondary Frontage setback on corner locations.

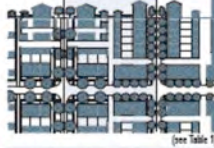


**SMARTCODE**

City of Gulfport, Mississippi

SECTION 5.6.11

**T6**



<b>BUILDING FUNCTION</b>	(see Tables 10 & 11)
a. Residential	Open use
b. Lodging	Open use
c. Office	Open use
d. Retail	Open use
<b>BUILDING HEIGHT</b>	(see Table 9)
a. Principal Building	8 max.; 2 min.
b. Outbuilding	prohibited
<b>LOT OCCUPATION</b>	
a. Lot Width	18 ft. min.; 700 ft. max.
b. Lot Coverage	90% max.
<b>BUILDING TYPE</b>	(see Table 9)
a. Edgeward	prohibited
b. Sideyard	prohibited
c. Rearyard	permitted
d. Courtyard	permitted
<b>BUILDING SETBACK</b>	
a. Front Setback	No min.; 12 ft. max.
b. Side Setback	No min.; 24 ft. max. on 2nd. Frontage
c. Rear Setback	No min.* for corner lot
d. Frontage Buildout	90% min. at setback
<b>OUTBUILDING SETBACK</b>	
a. Front Setback	prohibited
b. Side Setback	prohibited on 2nd. Frontage
c. Rear Setback	prohibited for corner lot
<b>PRIVATE FRONTAGES</b>	(see Table 7)
a. Common Lawn	prohibited
b. Porch & Fence	prohibited
c. Terrace or L.C.	prohibited
d. Forecourt	permitted
e. Stoop	permitted
f. Shopfront & Awning	permitted
g. Gallery	permitted
h. Arcade	permitted
	Refer to Summary Table 14
<b>PARKING PROVISIONS</b>	
	See Tables 11 & 12

\* Or 12 ft. from center line of alley

ARTICLE 5. BUILDING SCALE PLANS

**SMARTCODE**

City of Gulfport, Mississippi

**TABLE 3B VEHICULAR LANE ASSEMBLIES**

TABLE 3B: Vehicular Lane/Parking Assemblies. The projected design speeds determine the dimensions of the vehicular lanes and turning radii assembled to create thoroughfares.

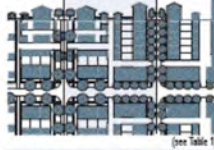
	ONE WAY MOVEMENT		TWO WAY MOVEMENT		
<b>a. NO PARKING</b>	<b>T1 T2 T3</b> 	<b>T1 T2 T3</b> 	<b>T1 T2 T3</b> 	<b>T1 T2</b> 	<b>T1 T2</b> 
Design ADT	300 VPD	600 VPD	2,500 VPD	22,000 VPD	36,000 VPD
Pedestrian Crossing	3 Seconds	5 Seconds	5 Seconds	9 Seconds	13 Seconds
Design Speed	20-30 MPH	Below 20 MPH	20-25 MPH	25-30 MPH	35 MPH and above
<b>b. YIELD PARKING</b>	<b>T3 T4</b> 		<b>T3 T4</b> 		
Design ADT	1,000 VPD		1,000 VPD		
Pedestrian Crossing	5 Seconds		7 Seconds		
<b>c. PARKING ONE SIDE PARALLEL</b>	<b>T3 T4</b> 	<b>T3 T4 T5</b> 	<b>T4 T5</b> 	<b>T5 T6</b> 	<b>T5 T6</b> 
Design ADT	5,000 VPD	10,000 VPD	10,000 VPD	15,000 VPD	32,000 VPD
Pedestrian Crossing	5 Seconds	8 Seconds	8 Seconds	11 Seconds	13 Seconds
Design Speed	20-30 MPH	20-30 MPH	25-30 MPH	25-30 MPH	25-30 MPH
<b>d. PARKING BOTH SIDES PARALLEL</b>	<b>T4</b> 	<b>T4 T5 T6</b> 	<b>T4 T5 T6</b> 	<b>T5 T6</b> 	<b>T5 T6</b> 
Design ADT	8,000 VPD	20,000 VPD	15,000 VPD	22,000 VPD	32,000 VPD
Pedestrian Crossing	7 Seconds	10 Seconds	10 Seconds	13 Seconds	15 Seconds
Design Speed	Below 20 MPH	20-30 MPH	25-30 MPH	25-30 MPH	35 MPH and above
<b>e. PARKING BOTH SIDES DIAGONAL</b>	<b>T5 T6</b> 	<b>T5 T6</b> 	<b>T5 T6</b> 	<b>T5 T6</b> 	<b>T5 T6</b> 
Design ADT	10,000 VPD	20,000 VPD	15,000 VPD	22,000 VPD	31,000 VPD
Pedestrian Crossing	15 Seconds	17 Seconds	17 Seconds	20 Seconds	23 Seconds
Design Speed	Below 20 MPH	20-25 MPH	20-25 MPH	25-30 MPH	25-30 MPH
<b>f. PARKING ACCESS</b>			<b>T3 T4</b> 	<b>T5 T6</b> 	
Design ADT					
Pedestrian Crossing			4 Seconds	8 Seconds	
Design Speed					

**SMARTCODE**

City of Gulfport, Mississippi

SECTION 5.6.11

**T6**



BUILDING FUNCTION (see Tables 10 & 11)	
a. Residential	Open use
b. Lodging	Open use
c. Office	Open use
d. Retail	Open use
BUILDING HEIGHT (see Table 8)	
a. Principal Building	8 max.; 2 min.
b. Outbuilding	prohibited
LOT OCCUPATION	
a. Lot Width	18 ft. min.; 700 ft. max.
b. Lot Coverage	90% max.
BUILDING TYPE (see Table 9)	
a. Edgeward	prohibited
b. Sidedward	prohibited
c. Rearward	permitted
d. Courtyard	permitted
BUILDING SETBACK	
a. Front Setback	No min.; 12 ft. max.
b. Side Setback	No min.; 24 ft. max. on 2nd. Frontage
c. Rear Setback	No min.* for corner lot
d. Frontage Buildout	90% min. at setback
OUTBUILDING SETBACK	
a. Front Setback	prohibited
b. Side Setback	prohibited on 2nd. Frontage
c. Rear Setback	prohibited for corner lot
PRIVATE FRONTAGES (see Table 7)	
a. Common Lawn	prohibited
b. Porch & Fence	prohibited
c. Terrace or L.C.	prohibited
d. Forecourt	permitted
e. Stoop	permitted
f. Shopfront & Awning	permitted
g. Gallery	permitted
h. Arcade	permitted

Refer to Summary Table 14  
 PARKING PROVISIONS  
 See Tables 11 & 12

\* Or 12 ft. from center line of alley

**SMARTCODE**

City of Gulfport, Mississippi

TABLE 3B: Vehicular Lane/Parking Assembly turning radii assembled to create thoroughfare

ONE WAY MOVEMENT	
a. NO PARKING	<b>T1 T2 T3 T1</b> Design ADT: 300 VPD Pedestrian Crossing: 3 Seconds Design Speed: 20-30 MPH
b. YIELD PARKING	<b>T3 T4</b> Design ADT: 1,000 VPD Pedestrian Crossing: 5 Seconds
c. PARKING ONE SIDE PARALLEL	<b>T3 T4 T3</b> Design ADT: 5,000 VPD Pedestrian Crossing: 5 Seconds Design Speed: 20-30 MPH
d. PARKING BOTH SIDES PARALLEL	<b>T4 T4</b> Design ADT: 8,000 VPD Pedestrian Crossing: 7 Seconds Design Speed: Below 20 MPH
e. PARKING BOTH SIDES DIAGONAL	<b>T5 T6 T5</b> Design ADT: 18,000 VPD Pedestrian Crossing: 15 Seconds Design Speed: Below 20 MPH
f. PARKING ACCESS	Design ADT: Pedestrian Crossing: Design Speed:

TABLE 3B VEHICULAR LANE ASSEMBLIES

**SMARTCODE**

City of Gulfport, Mississippi

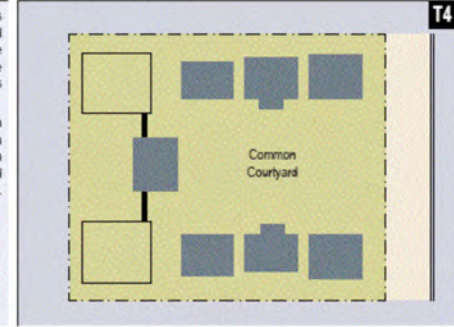
TABLE 9A BUILDING TYPES

TABLE 9A: Cottage Court Special Building Type Disposition. See Section 5.4.13 for details.

a. Cottage Court, Example 1: An array of 4 to 12 Cottages along with up to 4 Outbuildings around a common courtyard constitutes a Cottage Court Special Building Type. The Cottages may be arrayed around up to three sides of the common courtyard, with the front of the courtyard always abutting the street.

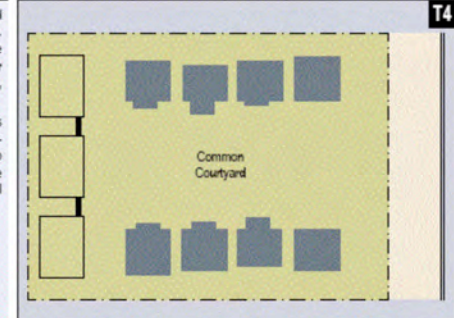
This example shows 7 Cottages defining the courtyard with two Outbuildings, one with Limited Office and the other a storage unit. The central area between Outbuildings is a surface parking area, and is screened from the courtyard by walls and by the Cottage at the end of the courtyard.

- Screening Fence or Wall
- Cottage Unit
- Ancillary Outbuilding



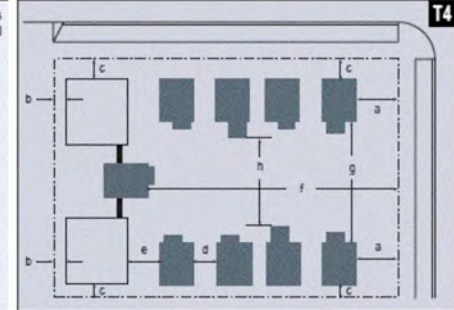
b. Cottage Court, Example 2: Cottages must be arranged to define at least the sides of the common courtyard. Outbuildings are confined to the Fourth Layer and the rear of the courtyard, but may be used to define the rear boundary of the courtyard in combination with fencing, walls, or other screening.

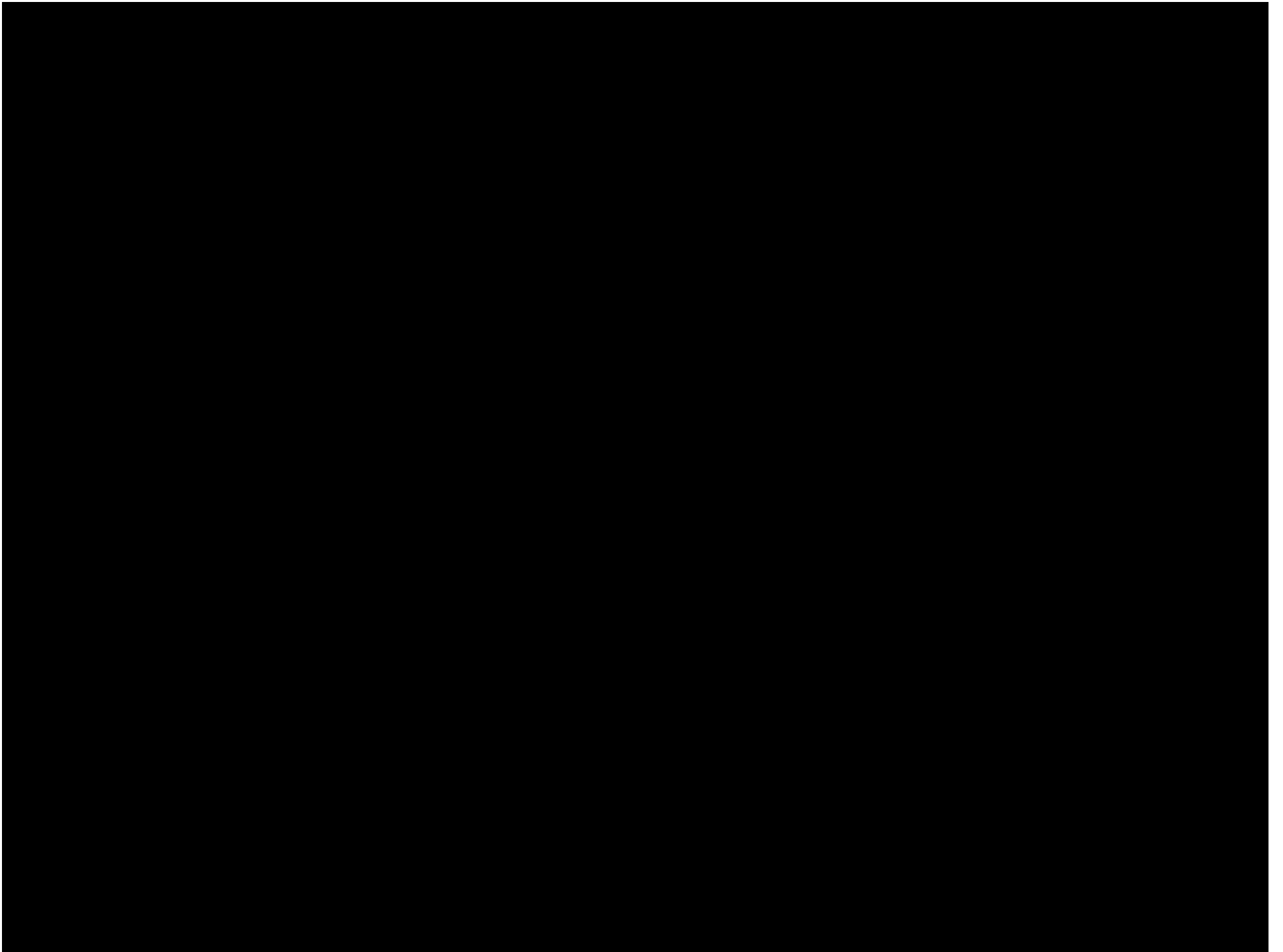
This example shows 8 Cottages and 3 Outbuildings defining the courtyard. The central Outbuilding is a Carriage House, with storage on the ground floor and two Residential units above. The outer two Outbuildings are garages. This Cottage Court contains 10 Residential units total.



c. Cottage Court Disposition Requirements: This figure indicates various setback and other dispositional dimensions.

- a: Front setback, determined by Transect Zone requirements
- b: Rear setback, determined by Transect Zone requirements
- c: Side setback = 3 feet minimum in all Zones
- d: Distance between Cottages = 6 feet minimum
- e: Distance between Outbuildings and other buildings = 10 feet minimum
- f: Courtyard depth = 40 feet minimum
- g: Courtyard width = 75 feet maximum, 16 feet minimum
- h: Unobstructed Courtyard Width = 16 feet minimum





# City of Farmer's Branch, Texas, Form-Based Code

*City of Farmers Branch, Planning Division*

*Ferrell Madden Associates*

**Context /Site**

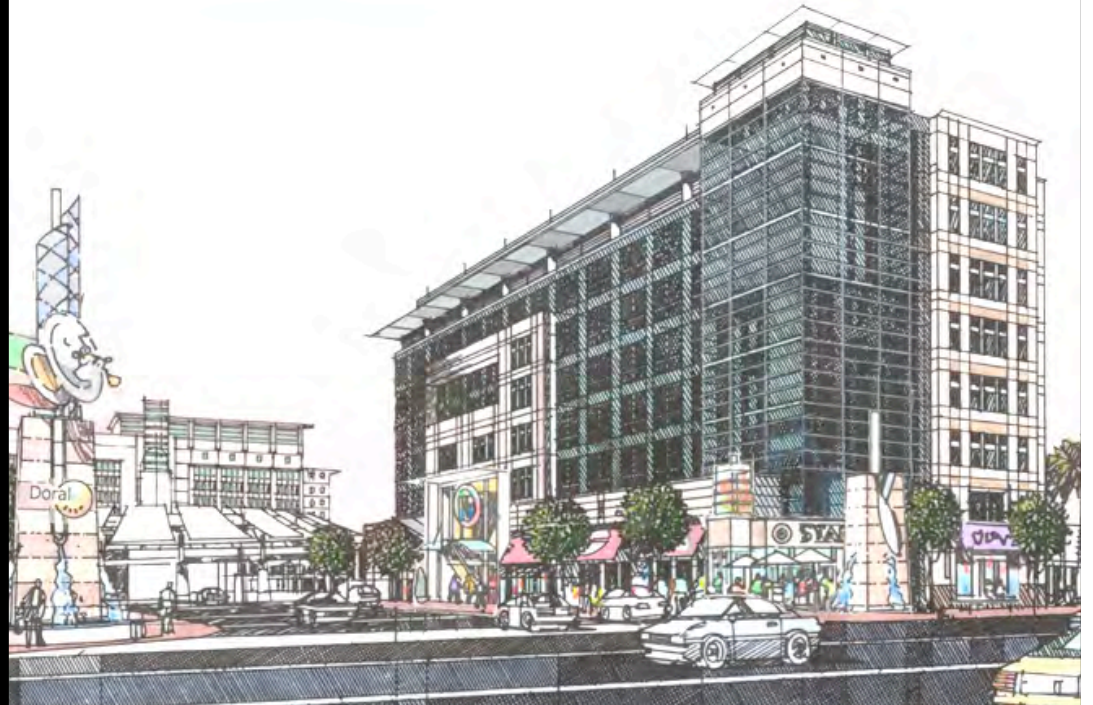




# The Plan







# The Code



*Farmers Branch Station Area Conceptual Master Plan*(top). Land use plan, *Farmers Branch Station Area Conceptual Master Plan* (middle). Regulating Plan (bottom). The clear spirit, intent and integrity of the citizen-endorsed *Master Plan* for the Station Area is imbued in the Regulating Plan of the form-based code.

## A. Intent

The *Station Area Form-Based Code* is designed to foster a vibrant town center for Farmers Branch through a lively mix of uses—with shopfronts, sidewalk cafes, and other commercial uses at street level, overlooked by canopy shade trees, upper story residences and offices.

Redevelopment within the Station Area shall be regulated by the *Station Area Form-Based Code* in order to achieve the vision set forth in the *Farmers Branch Station Area Conceptual Master Plan*. The *Station Area Conceptual Master Plan* was produced through a series of public meetings and workshops that took place during 2001 and 2002. The *Station Area Conceptual Master Plan* was adopted by the City Council on July 22, 2002 with the approval of Resolution No. 2002-076.

The *Station Area Form-Based Code* provides the specific means to guide implementation of the citizen-endorsed vision for the development and redevelopment of all properties in the Station Area. However, the ultimate configuration of the Dallas Area Rapid Transit (DART) light rail station and associated improvements are shown only for illustrative purposes.

The *Station Area Form-Based Code* (also referred to herein as the “*Form-Based Code*” or the “*Code*”) is a legal document that regulates land-development by setting careful and coherent controls on building form—while employing more flexible parameters relative to building use and density. This greater emphasis on physical form is intended to produce safe, attractive and enjoyable public spaces (good streets, neighborhoods and parks) complemented with a healthy mix of uses. With proper urban form, a greater integration of building uses is natural and comfortable. The *Form-Based Code* uses simple and clear graphic prescriptions and parameters for height, siting, and building elements to address the basic necessities for forming good public space.

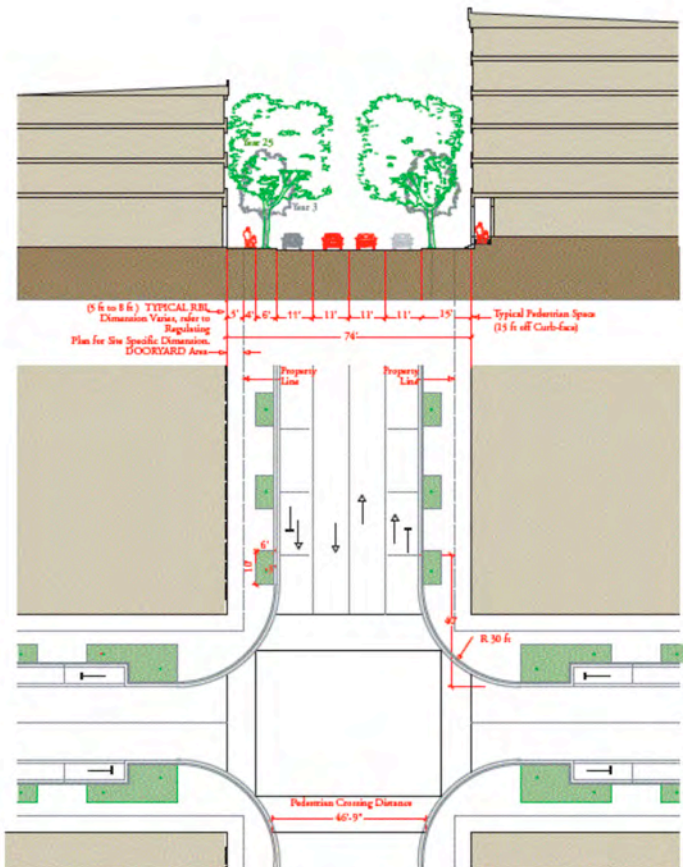
Wherever there appears to be a conflict between the *Station Area Form-Based Code* and other sections of the *Farmers Branch Comprehensive Zoning Ordinance* (as applied to a particular development in the Station Area), the requirements specifically set forth in the *Form-Based Code* shall prevail. For development standards not covered by the *Form-Based Code*, the other applicable sections in the *Farmers Branch Comprehensive Zoning Ordinance* shall be used as the requirement. Similarly, all development must comply with all relative Federal, State or local regulations and ordinances.

A Intent



Farmers Branch Station Area Conceptual Master Plan (top). Land use plan, Farmers Branch Station Area Conceptual Master Plan (middle). Regulating Plan (bottom). The clear spirit, intent and integrity of the citizen-endorsed Master Plan for the Area is imbued in the Regulating Plan and the form-based code.

10 Form-Based Code — Station Area



Denton Drive

Streetscape	74 ft	Travel lanes	4 @ 11 ft
Sidewalks	15 feet (6 ft street tree/ street furniture area, 4 ft clear, 5 ft DOORYARD)	Convertible parking lanes	11 ft outside lanes
		Pedestrian crossing	46 ft distance

This drawing is for illustrative purposes only. Refer to the REGULATING PLAN for site specific situations.

30 Form-Based Code — Station Area

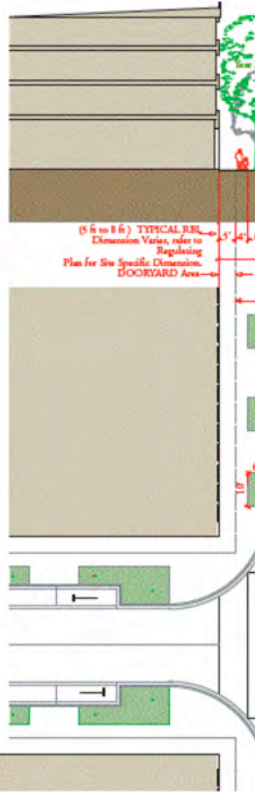


A Intent



Farmers Branch Station Area Conceptual Master Plan (top). Land use plan, Farmers Branch Station Area Conceptual Master Plan (middle). Regulating Plan (bottom). The clear spirit, intent and integrity of the citizen-endorsed Master Plan for the Area is imbued in the Regulating Plan form-based code.

10 Form-Based Code — Station Area

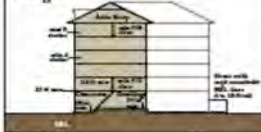


Denton Drive  
 Streetscape 74 ft  
 Sidewalks 15 feet (6 ft street furniture + 9 ft clear, 5 ft door)

This drawing is for illustrative purposes  
 30 Form-Based Code — Station Area

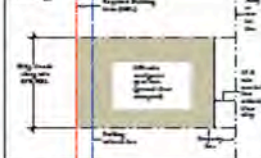
C. Building Envelope Standards: General Sites

Height



- Building Height**
- The height of the principal building is measured to eaves.
  - Each principal building shall be at least four (4) stories in height, but no greater than nine (9) stories in height, except as otherwise provided in the REGULATING PLAN.
- Parking Structure Height**
- When a parking structure is within 40 feet of any principal building (built after 2015) the portion of the structure shall not exceed the building's eave or

Siting



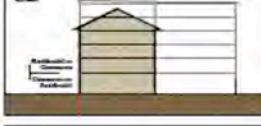
- Street Frontage**
- On each lot the building facade shall be built to the wall for at least eighty-five percent (85%) of the street frontage.
  - The building facade shall be built to the wall within thirty (30) feet of a street corner.
  - Three portions of the building facade (the required minimum build to) may include gaps of not more than eighteen (18) inches in depth, except as otherwise provided to allow for windows, shopfronts, and balconies.

Elements



- Facade Elements**
- Blank length of wall exceeding twenty (20) linear feet are prohibited on all walls.
  - REPRESENTATION on the UPPER STORY FACADES shall comprise at least thirty percent (30%), but not more than seventy percent (70%), of the facade area per story (measured as a percentage of the facade between floor levels).
  - No window may face or direct view toward a COMMON LOT LINE within thirty (30) feet unless that view is contained within the lot (e.g. by a SERVICE PORCH/SCREEN WALL) or, the sill is at least 6' above the finished floor level. All COMMON LOT LINES within the Station Area are subject to the construction of building walls (with an setback) by the adjacent lot owner.

Use



- Ground Story**
- The GROUND STORY shall house COMMERCIAL or RESIDENTIAL USE. See Height specifications above for specific requirements unique to each use.
- Upper Stories**
- The UPPER STORIES shall house RESIDENTIAL or COMMERCIAL USE INCLUDING RETAIL, SPECIALTY AND SERVICE USES (except those that have direct facade frontage and are second-story structures of the GROUND STORY USE).

GROUND STORY HEIGHT: COMMERCIAL USE

- The GROUND STORY finished floor elevation shall be equal to, or greater than the superior sidewalk elevation to front of the building, to a maximum finished floor elevation of eighteen (18) inches above the sidewalk.
- The GROUND STORY shall have at least fifteen (15) feet of clear interior height (floor to ceiling) contiguous to the RBL. Footage for at least one-half (50%) of the area.
- The maximum STORY HEIGHT for the GROUND STORY is twenty-five (25) feet.

GROUND STORY HEIGHT: RESIDENTIAL UNITS

- The finished floor elevation shall be no less than thirty (30) inches and no more than eighty (80) inches above the exterior sidewalk elevation at the RBL.
- The first STORY shall have an interior clear height (floor to ceiling) of at least nine (9) feet and a maximum STORY HEIGHT of sixteen (16) feet.

UPPER STORY HEIGHT

- The maximum floor-to-floor STORY HEIGHT for STORIES other than the GROUND STORY is fourteen (14) feet.

BUILDABLE AREA

- Buildings may occupy any portion of the lot behind the RBL, exclusive of any setbacks required by this Code.
- A CONTIGUOUS OPEN AREA equal to at least fifteen percent (15%) of the total building area shall be preserved on every lot. Such contiguous OPEN AREA may be located anywhere behind the PARKING STRUCTURE, either at grade or at the second or third STORY.
- No part of any building, except overhanging eaves, awnings, balconies, or balconies shall occupy the remaining lot area.

SIDE LOT SETBACKS

On a lot where a COMMON LOT LINE is shared with a property located within a single-family residential zoning district, the principal building shall be setback at least ten (10) feet from the shared lot line.

GARAGE AND DRIVEWAYS

- GARAGE ENTRIES or DRIVEWAYS shall be located at least twenty-five (25) feet away from any SIDE CORNER or another GARAGE ENTRY on the same BLOCK, unless otherwise designated on the REGULATING PLAN.
- GARAGE ENTRIES shall have a clear height of no greater than sixteen (16) feet nor a clear width exceeding twenty-four (24) feet.

SCREENING AND FACADES

- SCREENING on the UPPER STORY FACADES shall comprise at least thirty percent (30%), but not more than seventy percent (70%), of the facade area per story (measured as a percentage of the facade between floor levels).
- No window may face or direct view toward a COMMON LOT LINE within thirty (30) feet unless that view is contained within the lot (e.g. by a SERVICE PORCH/SCREEN WALL) or, the sill is at least 6' above the finished floor level. All COMMON LOT LINES within the Station Area are subject to the construction of building walls (with an setback) by the adjacent lot owner.

BUILDING PROJECTIONS

- AWNINGS, BALCONIES, and STORIES shall not project clear than five (5) feet to a COMMON LOT LINE.
- No part of any building, except overhanging eaves, awnings, balconies, bay windows, stories, and sleep fronts as specified by the Code, shall encroach beyond the RBL.
- AWNINGS that project over the sidewalk portion of a STREET WALL shall maintain a clear height of at least ten (10) feet.

DOORS/SCREENS

Functioning entry door(s) shall be provided along

GROUND STORY

The GROUND STORY shall house COMMERCIAL or RESIDENTIAL USE. See Height specifications above for specific requirements unique to each use.

UPPER STORIES

The UPPER STORIES shall house RESIDENTIAL or COMMERCIAL USE INCLUDING RETAIL, SPECIALTY AND SERVICE USES (except those that have direct facade frontage and are second-story structures of the GROUND STORY USE).

(14) feet.

- At least eighty percent (80%) of each upper STORY shall have an interior clear height (floor to ceiling) of at least nine (9) feet.

MEZANINES

Mezanines having a floor area greater than one-half (50%) of the floor area of the story to which the mezanine is attached shall be treated as full stories.

SCREEN WALL HEIGHT

- A STREET WALL not less than six (6) feet in height or greater than eighteen (18) feet in height shall be required along any RBL footage that is not otherwise occupied by the principal building on the lot.
- The height of the STREET WALL shall be measured from the adjacent public sidewalk or, when not adjacent to a sidewalk, from the ground elevation once construction is complete.

OTHER

When a GENERAL SITE is located within forty (40) feet of an existing single-family residential zoning district, the maximum RBL or PARKING STRUCTURE for that portion of the GENERAL SITE shall be thirty-two (32) feet. This requirement shall supersede the maximum STORY HEIGHT requirements.

- Designated GARAGE ENTRIES AND DRIVEWAYS shall be the sole means of vehicular access to a lot.
- GARAGE ENTRIES may be setback up to a maximum of twenty-five (25) inches behind the surrounding facade.
- Vehicle parking areas on private property shall be located behind the sidewalk or TRUCK LANE, except when parking is provided below grade.
- These requirements are not applicable to on-street parking.

ALLEYS

There is no required setback from ALLEYS. On lots having an ALLEY FRONT, there shall be a minimum setback of twenty-five (25) feet from the rear lot line.

COMMON LINES

Common lot shall satisfy the code requirements for the full wall length - unless otherwise specified in this Code.

UNBUILT RBL and COMMON LOT LINE TREATMENT

- A STREET WALL shall be required along any RBL footage that is not otherwise occupied by a building. The STREET WALL shall be located not more than eight (8) inches behind the RBL.
- SCREENING FACADES may be constructed along that portion of a COMMON LOT LINE not otherwise occupied by a building.

GROUND STORY FACADES AT INTERVALS NOT GREATER THAN SEVENTY-FIVE (75) LINEAR FEET

COVERED SIDEWALKS

Covered sidewalks are encouraged, but not required. When provided, covered sidewalks shall:

- Have a minimum interior clear height of clearance (15) feet except as otherwise provided for signs, street lighting and similar apparatuses.
- Have a minimum of ten (10) feet clear width between the facade and the support posts or columns of the sidewalk cover structure.
- Have posts or columns spaced fifteen (15) feet on center.
- Provide for a continuous public access easement at least four (4) feet wide running adjacent and parallel to the sidewalk cover columns/posts.
- Have columns/posts with a single horizontal dimension greater than twelve (12) inches or less than six (6) inches.

SCREEN WALLS

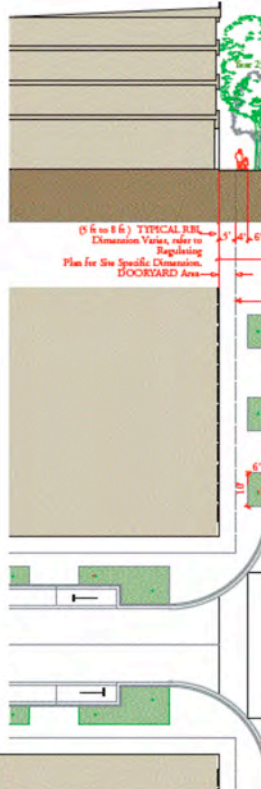
A vehicle entry gate no wider than eighteen (18) feet or a pedestrian entry gate no wider than six (6) feet shall be permitted within any required STREET WALL.

## A. Intent



Farmers Branch Station Area Conceptual Master Plan (top). Land use plan, Farmers Branch Station Area Conceptual Master Plan (middle). Regulating Plan (bottom). The clear spirit, intent and integrity of the citizen-endorsed Master Plan for the Area is imbedded in the Regulating Plan of the form-based code.

10 Form-Based Code — Station Area



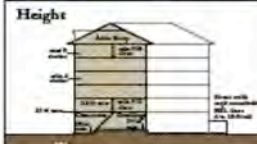
### Denton Drive

Streetscape	74 ft
Sidewalks	15 feet (6 ft street furniture clear, 5 ft door clear)

This drawing is for illustrative purposes.

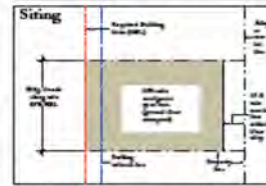
30 Form-Based Code — Station Area

## C. Building Envelope Standards: General Sites

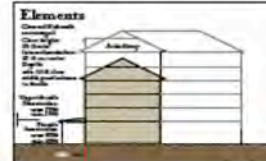


- Building Height**
- The height of the principal building is measured to the ROOF.
  - Each principal building shall be at least four (4) stories in height, but no greater than nine (9) stories in height, except as otherwise provided in the REGULATING PLAN.

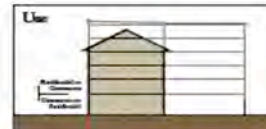
**Parking Structure Height**  
When a parking structure is within 40 feet of any principal building (built after 2015) the portion of the structure shall not exceed the building's ROOF or



- Street Facade**
- On each lot the building facade shall be built to the wall for at least eighty-five percent (85%) of the lot's width.
  - The building facade shall be built to the wall with thirty (30) feet of a store recess.
  - Those portions of the building facade (the required minimum build to) may include jogs of not more than eighteen (18) inches in depth, except as otherwise provided to allow for windows, shopfronts, and recesses.



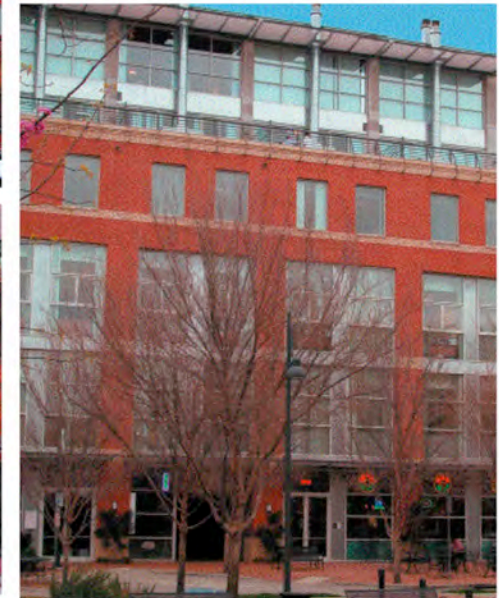
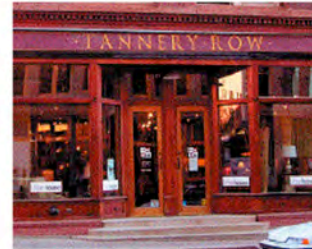
- Fenestration**
- Blank lengths of wall exceeding twenty (20) linear feet are prohibited on all walls.
  - FENESTRATION ON THE GROUND FLOOR FACADES shall comprise at least fifty percent (40%), but not more than seventy percent (60%), of the minimum area situated between two (2) and ten (10) feet above the adjacent public sidewalk on which the facade fronts.



## E. Windows and Doors

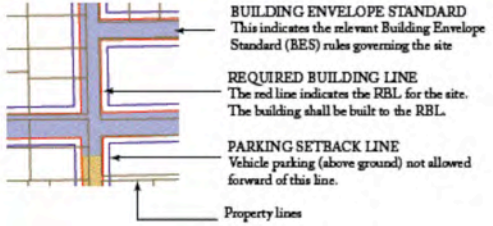
### Intent and Guiding Illustrations for Windows and Doors

The placement, type, and size of windows and doors help to establish the scale and vitality of the STREET-SPACE. For commercial buildings, they allow interplay between the shop interiors and the STREET-SPACE. For residential streets, they foster the "eyes on the street" surveillance which provides for the security and safety for the area. Windows should be divided by multiple panes of glass. This helps the window "hold" the surface of the façade, rather than appearing like a "hole" in the wall (an effect produced by a large single sheet of glass). The illustrations and statements on this page are advisory only. Refer to the Code standards on next page for the specific prescriptions of this section.



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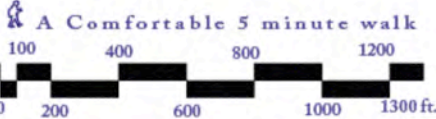
# Understanding the Regulating Plan



- Shopfront Colonnade Frontage
- Local Frontage
- General Frontage
- Rightline Easement
- Civic Buildings & Monuments
- I-35 Special Frontage

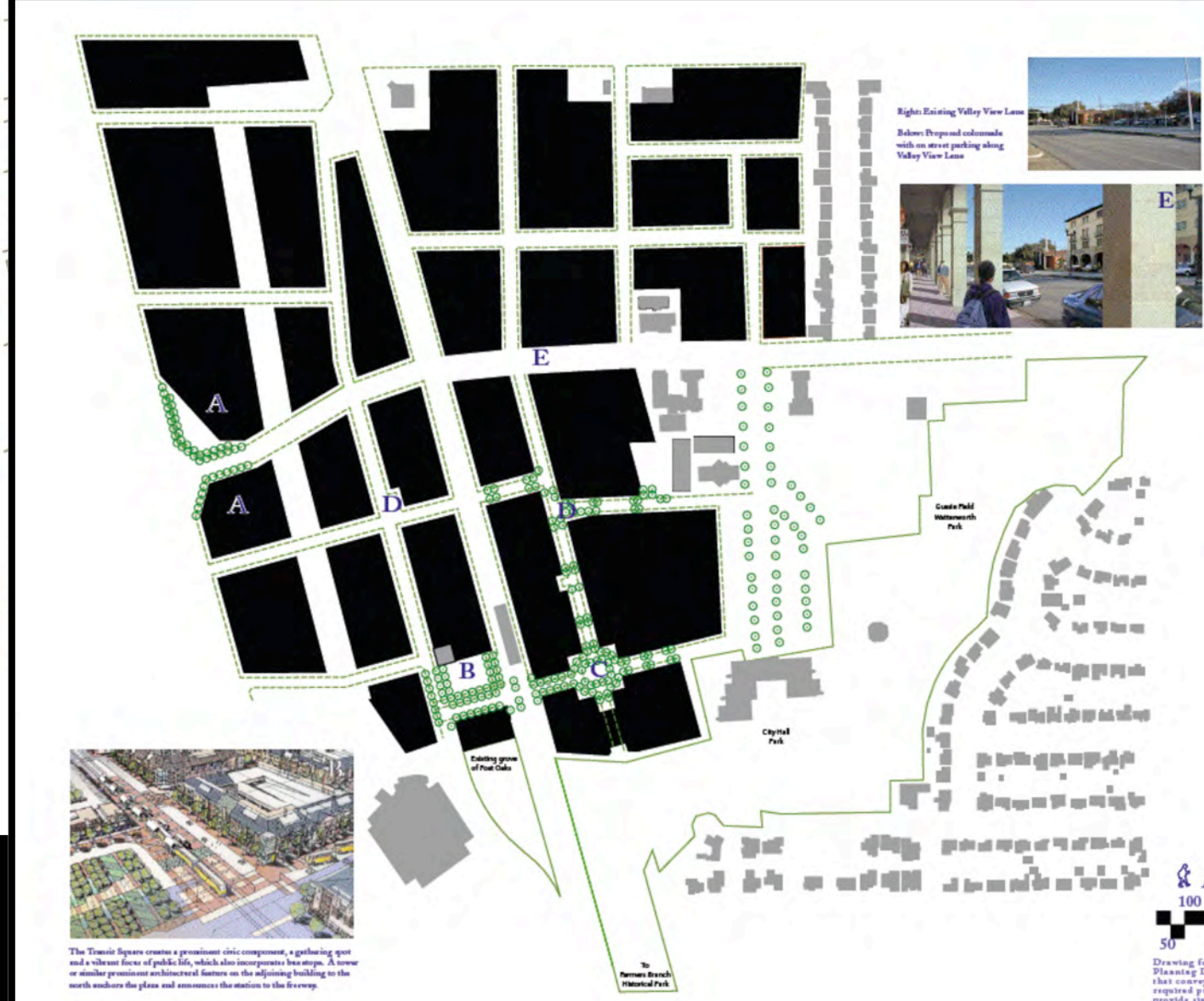
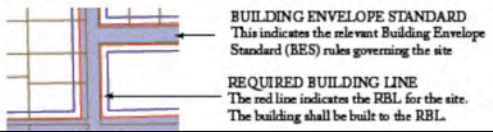
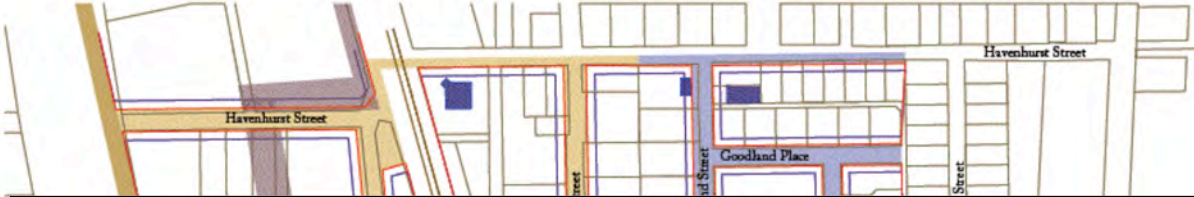


## Farmers Branch Station Area Regulating Plan A



Drawing for coding purposes only. Dimensions are subject to change. Consult Planning Division staff for specifications.

# Understanding the Regulating Plan



**Gateway buildings at I-35E and Valley View Lane define the entrance to the Station Area. Special site requirements at this intersection are minimum 10 (ten) stories at the northeast corner and six (6) stories at the southeast corner, respectively.**



**Right: Existing Valley View Lane**  
**Below: Proposed colonnade with on street parking along Valley View Lane**



**Neighborhood Green: A public open space at the intersection of two important streets, available for unstructured recreation, circumscribed by building facades.**



**Pocket Park/Plaza: The smallest size open space created by a jog in building facades.**



## Farmers Branch Station Area Urban Design Plan

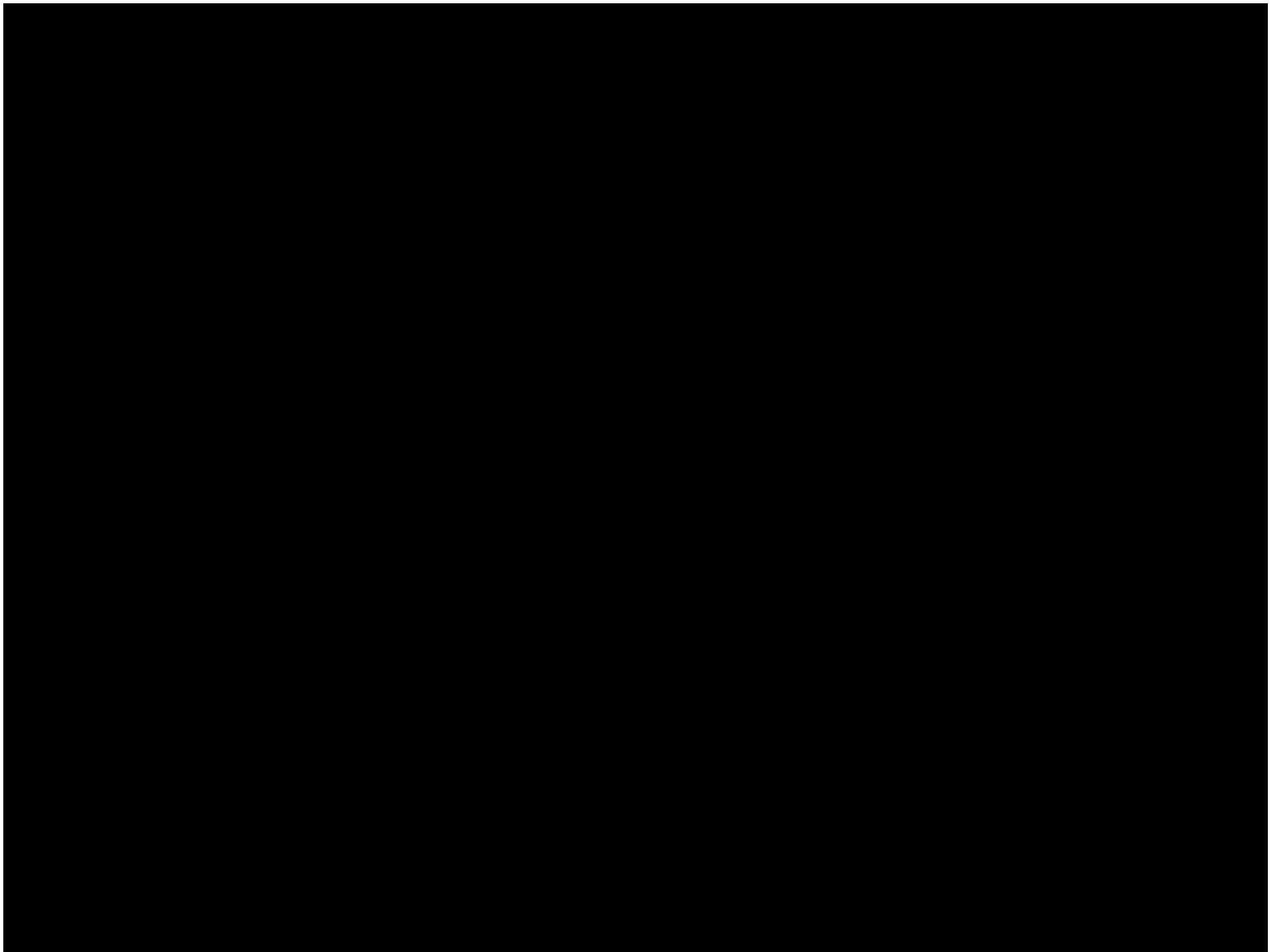
A Comfortable 5 minute walk



Drawing for ending purposes only. Dimensions are subject to change. Consult Planning Division staff for specifications. The images are representative examples that convey the intent and quality of development. This Plan shows the minimum required public spaces south of Valley View Lane. Developers are encouraged to provide similar public space north of Valley View Lane.



**The Transit Square creates a prominent civic component, a gathering spot and a vibrant focus of public life, which also incorporates bus stops. A tower or similar prominent architectural feature on the adjoining building to the north anchors the plaza and announces the station to the freeway.**



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